

EL PASO



COUNTY

COMMISSIONERS:
DARRYL GLENN (PRESIDENT)
MARK WALLER (PRESIDENT PRO TEMPORE)

SIAN VANDERWERF
LONGINOS GONZALEZ
PEGGY LITTLETON

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
CRAIG DOSSEY, EXECUTIVE DIRECTOR

MEMORANDUM

Date: May 9, 2018

To: El Paso County Planning Commission

From: Len Kendall, Planner I

Through: Craig Dossey, Executive Director

Subject: Consultation with the Planning Commission to determine whether the purchase of a school site should require a public hearing (Liberty Tree Academy) (Parcel No.:42323-02-001)

Summary: Liberty Tree Classical Academy is currently in the process of purchasing a vacant 10.7-acre parcel in the RR-5 (Residential Rural) zoning district. The property is located within the boundaries of Falcon School District 49. The Liberty Tree Academy is a proposed public charter elementary school with an initial kindergarten through 8th grade enrollment of 486 students in one building on approximately 3.4-acres of undeveloped land. The facility is scheduled to open in January 2019 with full enrollment anticipated in 5 years. The school may be expanded to include high school enrollment of an additional 264 students for a total of 750 students. The remaining site may be developed at a later date to include an alternate use, but due to development uncertainty is not included in the application

The purpose of Section 5.3.3, Approval of Location, of the El Paso County Land Development Code (2016) (Code), is to determine whether a public use conforms to the adopted County master plan and to provide a timely review of the approval of location for public facilities or uses.

Section 5.3.3.G, Public Schools and Charter Schools, of the Code, provides the guidelines for how the approval of location process is applied to public and charter schools. Specifically, subsection 5.3.3.G.1, Prior to Acquisition of Land for a School Site, Approval of Location, of the Code, which was adopted to implement Colorado Revised Statutes § 30-28-110, states the following:

“Prior to acquiring land or contracting for the purchase of land for a school site, the school district shall consult with and advise the



Planning Commission in writing to ensure that the proposed site conforms to the adopted Master Plan as far as is feasible.”

In this instance, there are two primary master plan elements applicable to the proposed use of the facility, the El Paso County Policy Plan (1998) and the Falcon/Peyton Small Area Master Plan (2006). The Policy Plan has a dual purpose; it serves as a guiding document concerning broader land use planning issues, and provides a framework to tie together the more detailed sub-area elements of the County master plan. The Falcon/Peyton Plan's primary purpose is to set forth a framework within which proposed new land uses may be analyzed. Relevant policies are as follows:

El Paso County Policy Plan (1998)

***Policy 12.3.1** Support innovative planning approaches which allow school sites and educational facilities to be provided in an efficient and cost-effective manner.*

***Policy 12.3.2** Designate school sites early in the planning process and promote complementary adjoining uses and access patterns.*

Falcon/Peyton Small Area Master Plan (2006)

***Policy 3.2.3** Recognize interrelatedness to other issues (i.e. schools, transportation, public safety).*

***Policy 3.4.1** Encourage development in urban areas where adequate public facilities or services exist or can be provided in an efficient manner.*

***Policy 3.4.3** Encourage the availability of facilities and services within the planning area, close to the residents.*

This charter school would serve up to 486 K-8 students at full capacity, with a potential to expand to serve 750 K-12 students. The parcel is currently vacant. Staff recommends that the proposed acquisition of the subject property conforms to the Policy Plan and the Falcon/Peyton Small Area Master Plan.

Pursuant to Section 5.3.3.G.3, Request by Planning Commission for Public Hearing, of the Code, the Planning Commission may:

“Request a public hearing before the school district[s] on the proposed site location or site development plan. If the Planning Commission requires a hearing, the school district shall promptly schedule the hearing, publish at least one notice in advance of the

hearing and provide written notice of the hearing to the Planning Commission.”

Planning and Community Development has requested that a site development plan be submitted for the purpose of reviewing compliance with the Code and Engineering Criteria Manual (2015).

If no public hearing is requested by the Planning Commission, pursuant to Section 5.3.3.G.4, Information to be Considered and Recommendation, of the Code, the Planning Commission will then consider all information provided by the school district and provide to the school district its’ recommendations and conclusions. A letter of intent and site plan have been provided by the applicant to provide guidance to the Planning Commission as part of the consultation.

Actions: If the Planning Commission determines that it is not necessary to conduct a public hearing regarding the acquisition of the proposed site, Liberty Tree Classical Academy shall submit a site development plan to Planning and Community Development for review and approval.

If the Planning Commission determines a hearing is required Liberty Tree Classical Academy shall promptly schedule the hearing, publish at least one notice in advance of the hearing and provide written notice of the hearing to the Planning Commission.

Attachments:
Letter of Intent
Site Plan



May 4, 2018

From: Liberty Tree Academy c/o Carhuff and Cueva Architects, LLC
8579 Eastonville Road
Peyton, CO 80831

To: El Paso County Planning Department

RE: Letter of Intent – Liberty Tree Academy

Site Address: 8579 Eastonville Road

Legal Description:
Lot 1178, Woodmen Hills Filing No. 10
County of El Paso
State of Colorado

Tax Schedule Number: 201098618

Project Size: 3.4 Acres (Total Parcel Size: 10.7 Acres)
Zoning: Rural Residential (RR-5)

Project Overview:

The Liberty Tree Academy is a proposed public charter elementary school with an initial kindergarten through 8th grade enrolment of 486 student in one building on approximately 3.4 acres of undeveloped land. The facility is scheduled to be open in January 2019 with full enrollment anticipated in 5 years. The school may be expanded to include high school enrollment of an additional 264 students for a total of 750 students. The remaining site may be developed at a later date to include and alternate use, but due to development uncertainty is not included in the application

The proposed site is bounded on the west by Eastonville Road, on the east by a water district drainage easement, on the north by undeveloped property, on the south by a residential property. Access to the Site is propose through one primary location, at the existing Eastonville Road/Motley Road intersection.

Phase 1 of Liberty Tree Academy is proposed as a single two story building and includes, administrative offices, class rooms, gymnasium, warming kitchen, and ancillary rooms. The Phase 1 building area is 39,676 square feet. Phase 2 is proposed as an attached building with an additional 11,640 square feet of class rooms. The total building area of both Phase 1 and Phase 2 is 51,316 square feet. Adjacent to and south of the building is a fenced play area for younger aged children. Exterior to the building the facility includes a circular one way drive aisle, with a near side drop off lane. Parking is located along the northwest and north portion of the site. Pedestrian are accommodate with sidewalks and curb ramps. Bicyclists share the drive aisle.



The site improvements include 36 parking stalls, asphalt paving, grading, storm sewer improvements, and landscaping improvements. Site utilities will be provided through connection to existing facilities within Eastonville Road, with water and sanitary sewer being provided by Woodmen Hills Metropolitan District. Black Hills Energy will provide gas service, and Xcel Energy will provide electrical service.

Building Architecture:

The proposed Liberty Tree School is illustrated on the attached elevations and renderings to be a classic Colorado style building with a bold entrance statement with pitched metal roofs over heavy timber construction. The main 2 story portion of the building will be constructed from wood frame with integrally colored synthetic stucco (EFIS) as the primary finish in two colors with vertical accents in colored metal panels. The Gym portion will be constructed from masonry, steel and colored metal panels as the primary finish. The exterior windows will be made from high quality commercial aluminum with dual pane glass.

All exterior doors and entrances will be covered with metal panel roofs to protect them from the elements. The south residential property will be screened from view with a 6' integrally colored masonry wall with color variation and accents in addition to tree screening.

The roof will be made from a commercial grade coated spray foam system. All mechanical equipment is positioned behind parapet walls to be screened from view.

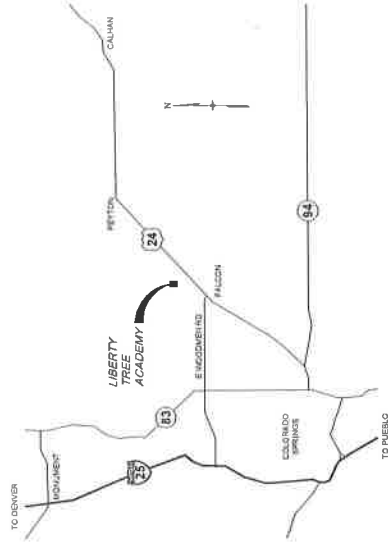
A small outdoor play area located on the south side of the building will be fenced with painted wrought iron and paved with irrigated sod. All exterior lighting will be shielded and directed so as not to leave the school property.

We look forward to addressing any of El Paso County's questions and concerns on the submittal.

Very truly yours,

Philip A. Carhuff, AIA Project AE Team Leader

LIBERTY TREE ACADEMY SITE DEVELOPMENT PLAN TOWN OF PEYTON, EL PASO COUNTY PRELIMINARY MAY 2018



INDEX OF SHEETS

DRAWING NO.	DESCRIPTION	DRAWING NO.	DESCRIPTION
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GR01	GRADING PLAN	3	GRADING PLAN
UT01	OVERALL UTILITY PLAN	4	OVERALL UTILITY PLAN
LS01	LANDSCAPE PLAN	5	LANDSCAPE PLAN
SK2D	PRESENTATION ELEVATIONS	6	PRESENTATION ELEVATIONS
SP10	ARCHITECTURAL SITE PLAN	7	ARCHITECTURAL SITE PLAN
SP11	SITE DETAILS	8	SITE DETAILS
E1.1	ELECTRICAL SITE PLAN	9	ELECTRICAL SITE PLAN
E1.2	ELECTRICAL SITE PHOTOMETRIC CALCULATIONS	10	ELECTRICAL SITE PHOTOMETRIC CALCULATIONS
E1.3	EXTERIOR LIGHT FIXTURES CUT SHEETS	11	EXTERIOR LIGHT FIXTURES CUT SHEETS

LAND USE SUMMARY

PARCEL AREA: 10.7 ACRES
 PROJECT AREA: 3.4 ACRES
 BUILDING AREA (PHASE 1): 41,585 SF
 FAR: 0.28

CIVIL ENGINEER

MATRIX DESIGN GROUP
 1601 BLAKE STREET, SUITE 200
 DENVER, CO 80202
 PHONE: 303-572-0200
 FAX: 303-572-0202
 CONTACT: DAVE KLINE, P.E., PTOE
 DAVE_KLINE@MATRIXDESIGNGROUP.COM

LANDSCAPE ARCHITECT

MATRIX DESIGN GROUP
 1601 BLAKE STREET, SUITE 200
 DENVER, CO 80202
 PHONE: 303-572-0200
 FAX: 303-572-0202
 CONTACT: TERESA ROBERSON
 TERESA_ROBERSON@MATRIXDESIGNGROUP.COM

LEGAL DESCRIPTION:

LOT 1178, WOODMEN HILLS FLING NO. 10
 COUNTY OF EL PASO
 STATE OF COLORADO

BASIS OF BEARING:

THE BEARINGS AND DISTANCES ARE BASED ON GRID BEARINGS OF THE COLORADO STATE PLANE
 CENTRAL ZONE, BASED ON THE EAST LINE OF LOT 1178 OF THE PLAT OF WOODMEN HILLS FLING NO. 10
 AS RECORDED ON JULY 13, 2001 IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDER UNDER
 RECEPTION NUMBER 1008818. BEARING MEASUREMENTS ON A 1"=500' SCALE. ALUMINUM CAP STAMPED "PLS.32827"
 AND BEARS SOUTH 100°24'31" EAST A DISTANCE OF 1116.48 FEET.

BENCHMARK:

BENCHMARK IS DERIVED FROM AN ONLINE POSITIONING USER SERVICE PROVIDED BY THE NATIONAL
 GEODETIC SURVEY PERFORMED ON A SET #5 REBAR LOCATED ON THE EAST SIDE OF EASTONVILLE ROAD
 BETWEEN EASTONVILLE ROAD AND WOODMEN HILLS BLVD. THE ELEVATION DERIVED FROM THE STATIC SOLUTION IS 6860.52 US SURVEY FEET (NAVD 88).

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND
 ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL
 PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH
 APPLICABLE MASTER DRAINAGE PLANS AND MASTER PLANS AND SPECIFICATIONS AND ROAD AND
 FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT
 RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY
 PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

DAVID KLINE, P.E., PTOE

DATE

LIBERTY TREE ACADEMY COMPANY

DATE

JENNIFER IRVINE, P.E.

DATE

OWNER/DEVELOPER'S STATEMENT:

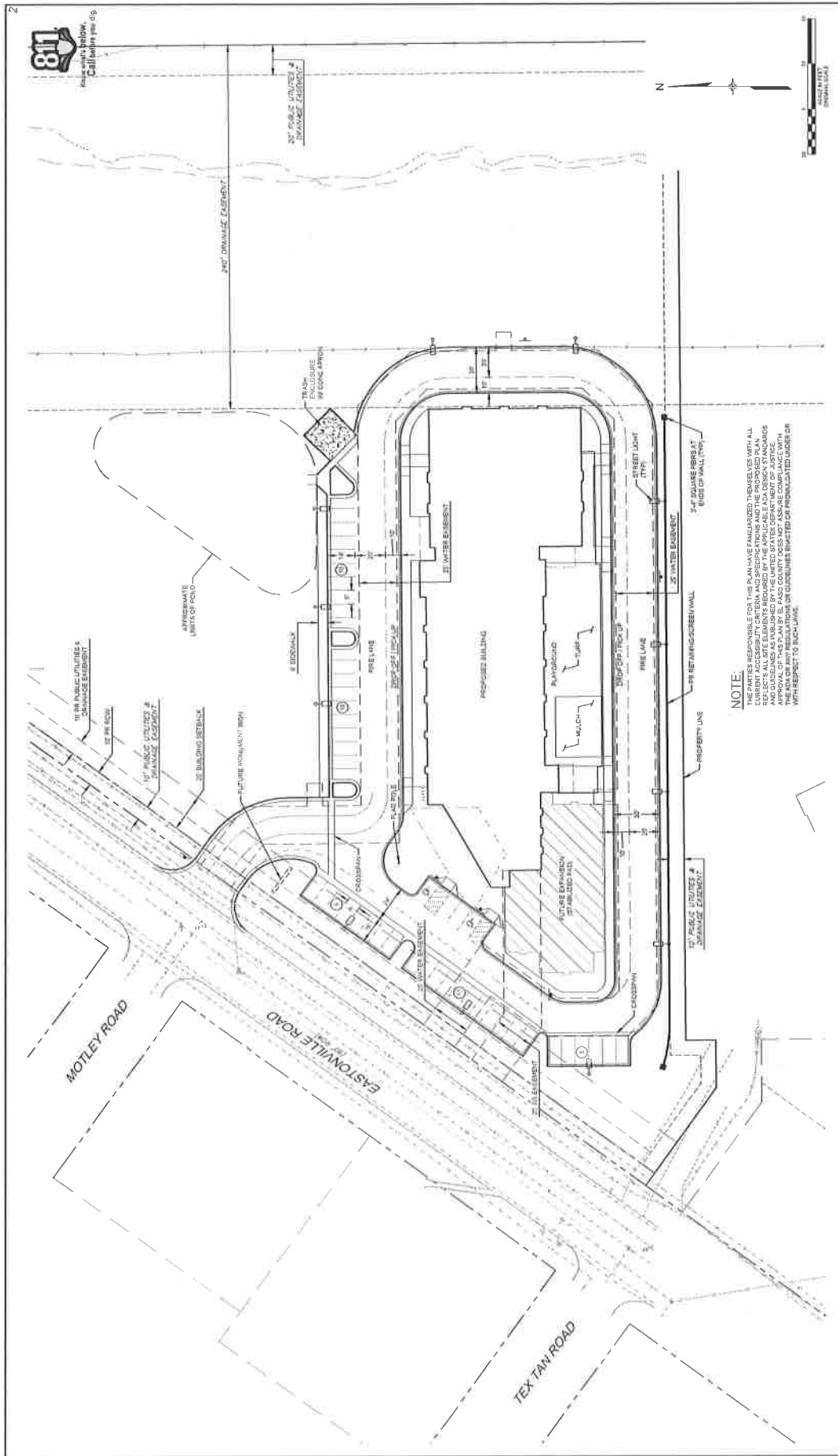
THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN
 THESE DETAILED PLANS AND SPECIFICATIONS.

NO.	DATE	REVISION

SHEET #8



LIBERTY TREE ACADEMY COMPANY		DATE	
TOWN OF PEYTON, EL PASO COUNTY		DATE	
SITE DEVELOPMENT PLAN		DATE	
TITLE SHEET		DATE	
DESIGNED BY	CHECKED BY	DATE	DATE
DRAWN BY	DATE	DATE	DATE
PROJECT NO.	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE



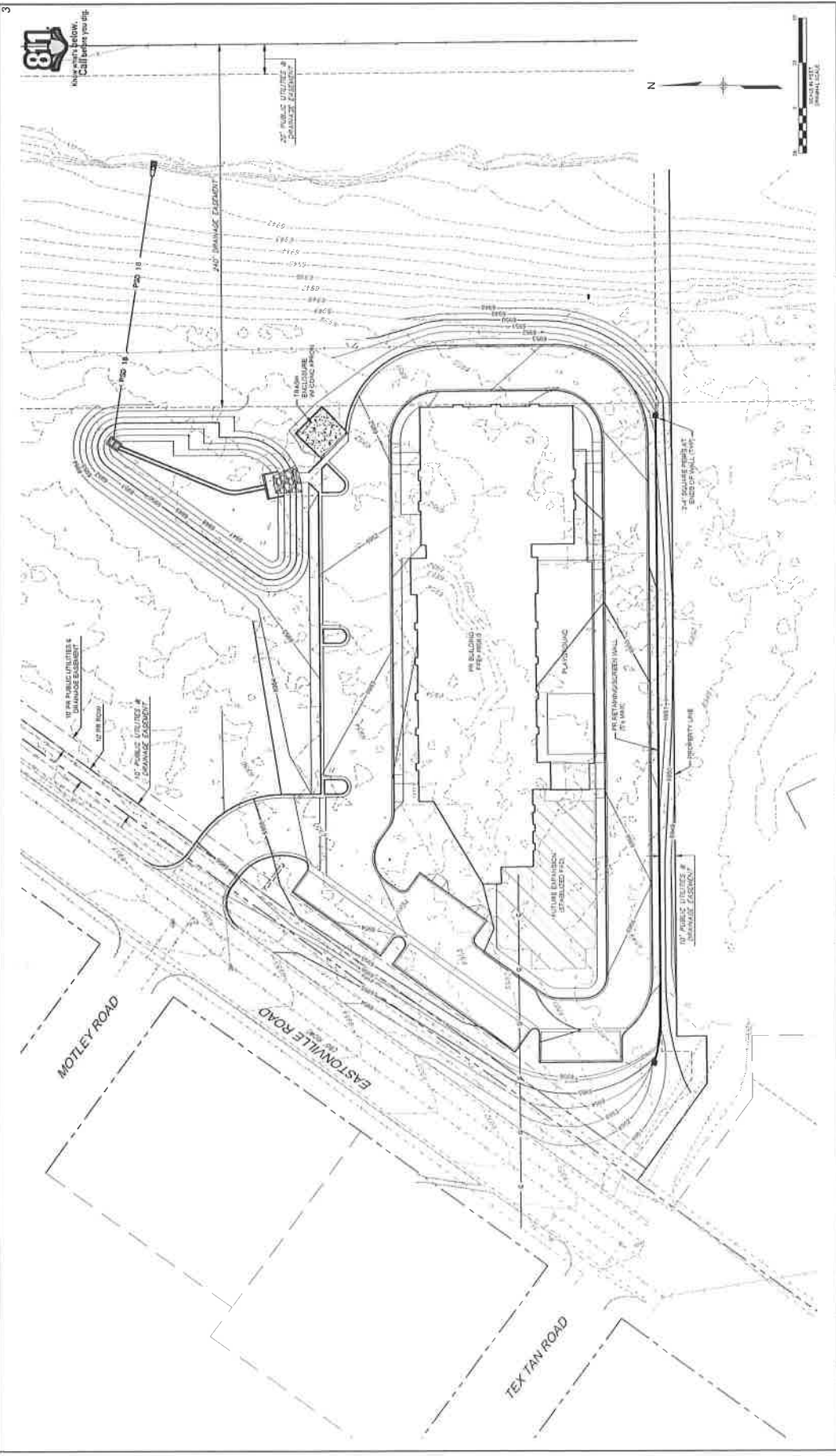
NOTE:
 THE DESIGNER IS NOT RESPONSIBLE FOR THE FINANCIAL CONSEQUENCES TO THE CLIENTS WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH ALL APPLICABLE ADA STANDARDS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES WITH RESPECT TO EACH JUNE.

LIBERTY TREE ACADEMY
 TOWN OF PEYTON, EL PASO COUNTY
 SITE DEVELOPMENT PLAN
 SITE PLAN

PRELIMINARY
 THIS DRAWING AND NOT GOVERNING AGENCIES AND IS SUBJECT TO CHANGE



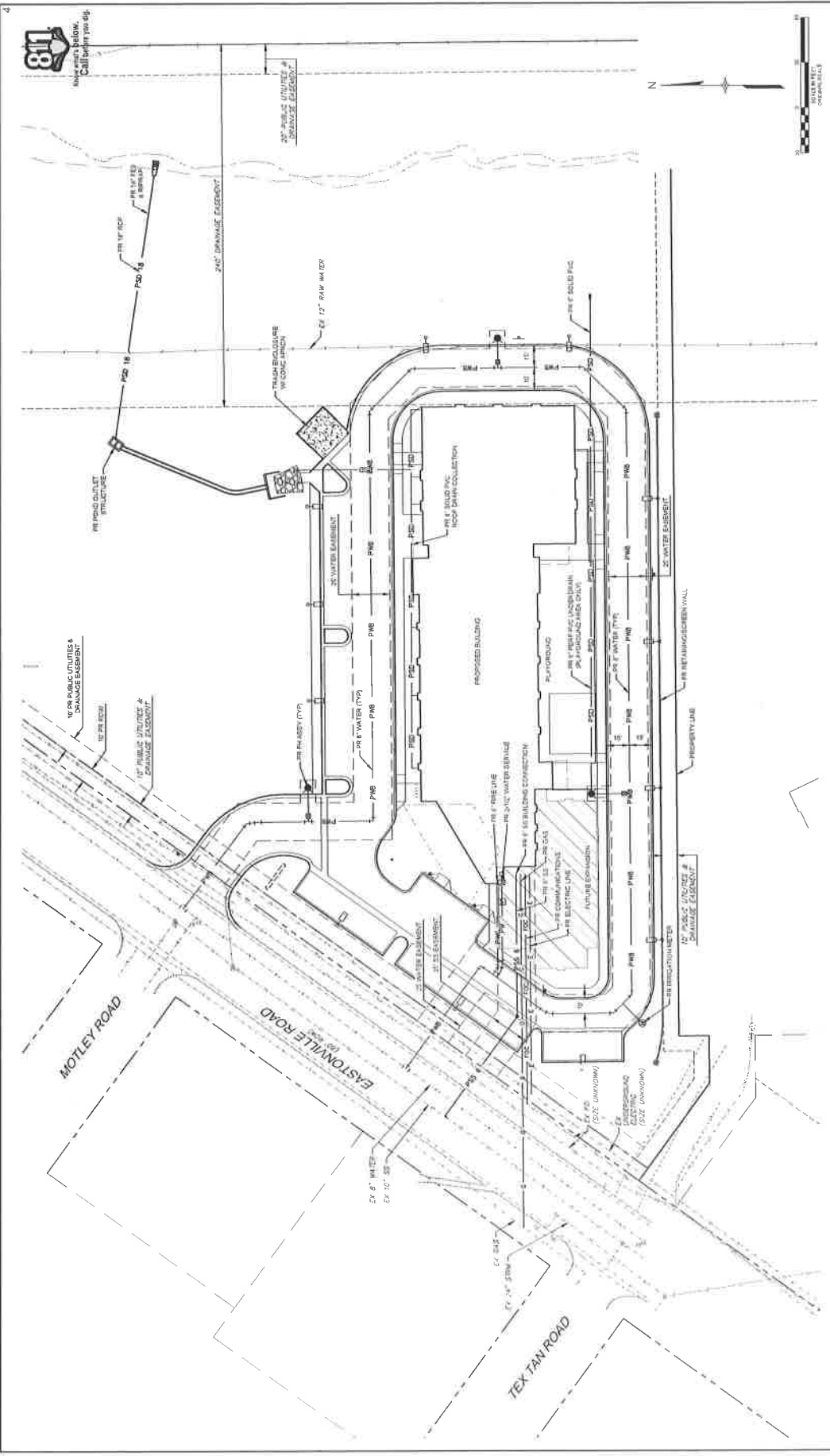
NO.	DATE	DESCRIPTION	BY
COMPUTER FILE MANAGEMENT			
1	11.18.18	ISSUE FOR PERMITTING	BJP
2	12.13.18	REVISIONS	BJP



811
 Know what's below.
 Call before you dig.



		LIBERTY TREE ACADEMY TOWN OF REYTON, EL PASO COUNTY SITE DEVELOPMENT PLAN	
PRELIMINARY THIS DRAWING HAS NOT BEEN REVIEWED BY ANY GOVERNING AGENCIES AND IS SUBJECT TO CHANGE		GRADING PLAN	
PROJECT NO. 24-0001 SHEET NO. 2 OF 3 DATE: 10/20/14	DRAWN BY: J. H. HORN CHECKED BY: J. H. HORN PROJECT NO. 24-0001	JOB NO. 14-0001 SHEET NO. 2 OF 3 DATE: 10/20/14	JOB NO. 14-0001 SHEET NO. 2 OF 3 DATE: 10/20/14



LIBERTY TREE ACADEMY
 TOWN OF PEYTON, EL PASO COUNTY
 SITE DEVELOPMENT PLAN

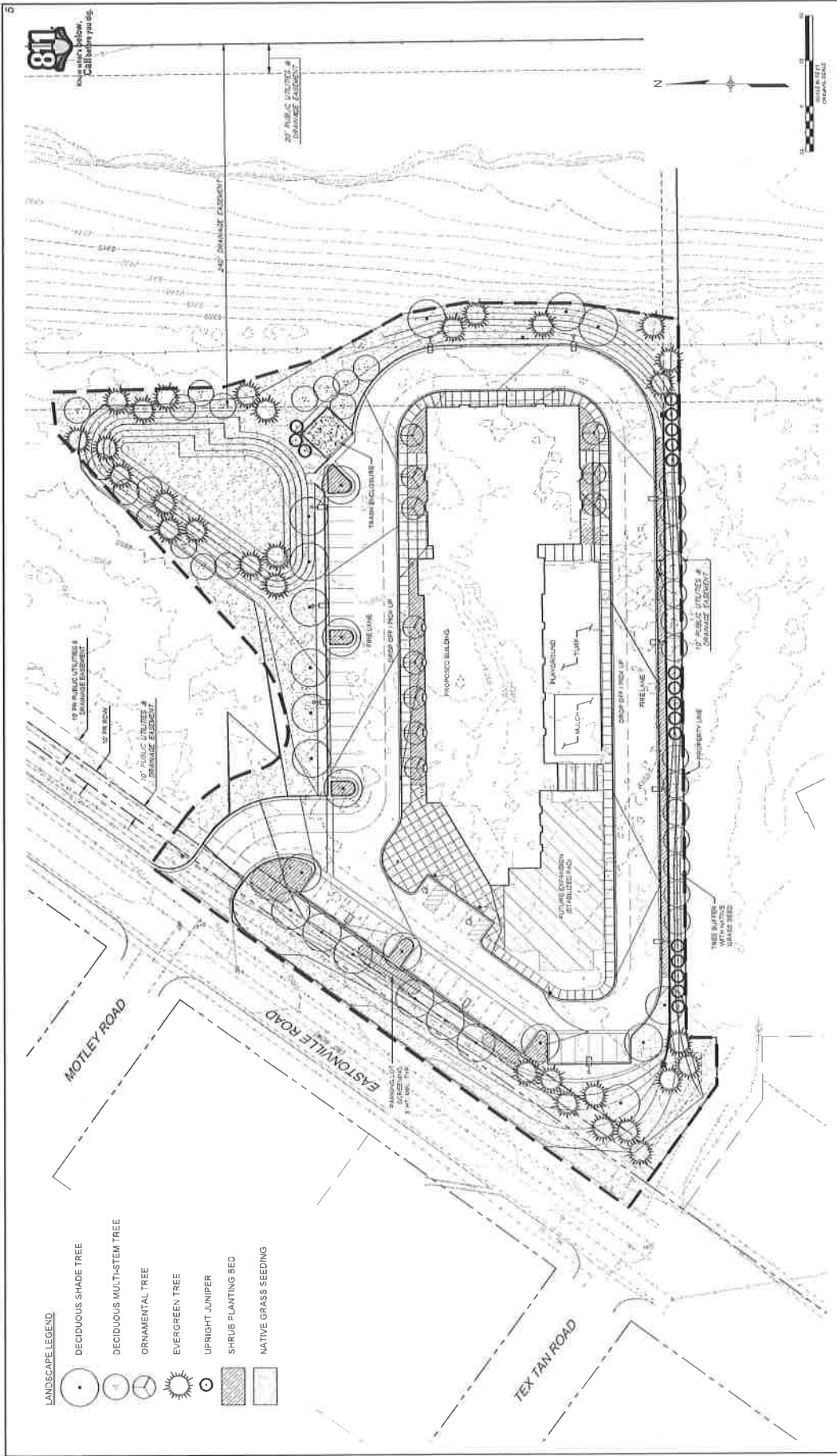
PRELIMINARY
 THIS DRAWING AND NOT
 GOVERNING AGENCIES AND
 IS SUBJECT TO CHANGE

Matrix GROUP
 DESIGN GROUP
 477 EAST 15TH AVENUE, SUITE 100
 DENVER, CO 80202

LIBERTY TREE ACADEMY

NO.	DATE	REVISION
1	03/21/20	CONCEPTION
2	03/21/20	REVISION

COMPUTER FILE MANAGEMENT
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 PLOT USER: 181101011 (181101011)



LIBERTY TREE ACADEMY
 TOWN OF PETTON, EL PASO COUNTY
 SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN

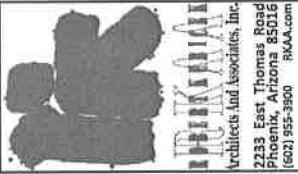
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 BEEN REVIEWED BY THE
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 IS SUBJECT TO CHANGE



SHEET SET

NO.	DATE	DESCRIPTION
1		REVISIONS

COMPUTER FILE MANAGEMENT
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 PLOT DATE: 11/11/11 10:00 AM



DESIGN APPROVAL

PRELIMINARY
NOT FOR
CONSTRUCTION



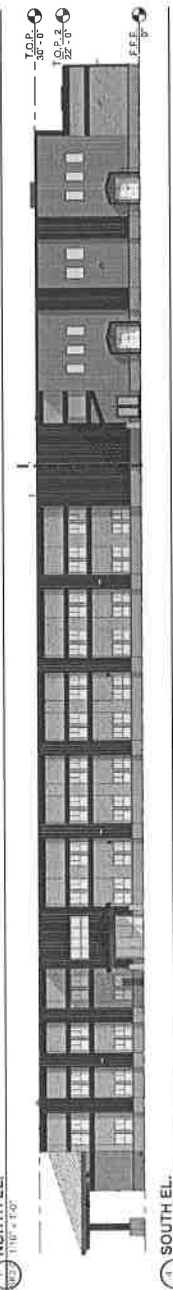
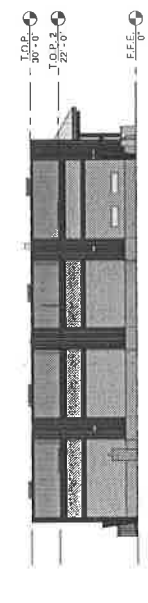
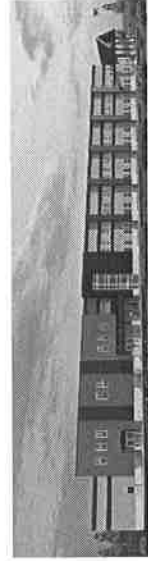
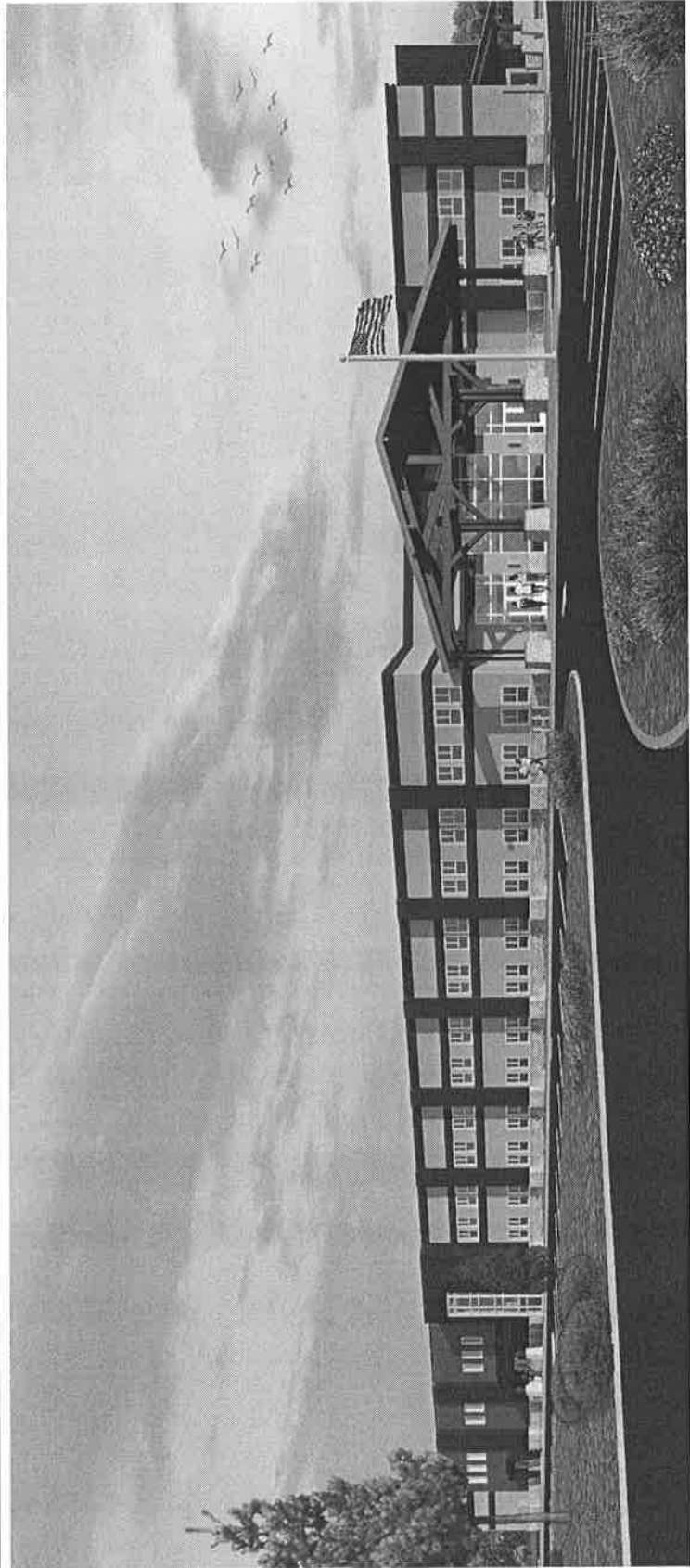
carhuff+cueva
architects, llc
3149 e prince rd #151
tucson, arizona 85716
phone 520.577.4560
www.c-c-c-a.com

NEW SCHOOL CAMPUS FOR
LIBERTY TREE ACADEMY
8578 EASTONVILLE RD,
PEYTON, CO 80831

CONSTRUCTION DOCUMENTS

PROJECT NO.	P-18-0579
DATE	APRIL 27, 2018
SCALE	1/16" = 1'-0"
DATE	PD

PRESENTATION ELEVATIONS
SK2.0



LIBERTY TREE ACADEMY

Architects Inc. Associates, Inc.
 2233 East Thomas Road
 Phoenix, Arizona 85016
 (602) 959-9500 R004.com

DESIGN APPROPRIAL

PROJECT DATA

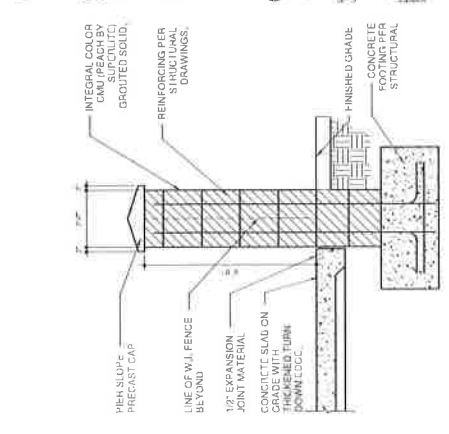
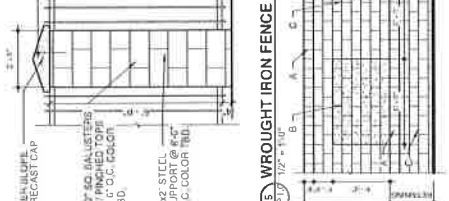
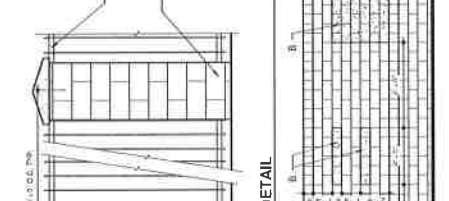
PARCEL # 422200001
 ZONING DISTRICT
 MAXIMUM LOT COVERAGE 25%
 MAXIMUM HEIGHT 30'
 SETBACKS 25' FRONT, REAR, SIDE
 BUILDING INFORMATION
 NUMBER OF STORIES: 2 38,376 S.F.
 MAXIMUM HEIGHT: 30'-0"

PARKING DATA

PARKING REQUIRED PER TABLE 4-2
 ELEMENTARY OR JR. HIGH
 2 SPACES PER CLASSROOM
 REQUIRED PARKING SIZE 8'X18' 2' OVERHANG
 NEW PARKING REQUIRED PERTABLE 4-2:
 48 STALLS
 REQUIRED ADA PARKING SPACES: 2 STALLS
 ADA PARKING SPACES PROVIDED: 2 STALLS

BIKE PARKING

REQUIRED BIKE PARKING 5% OF VEHICLE
 PARKING SPACES (48 X .05) 3 SPACES
 PROVIDED BIKE PARKING: 8 SPACES



PRELIMINARY NOT FOR CONSTRUCTION

carhuffcueva architects, llc
 3149 e prince rd #151
 tucson, arizona 85716
 phone 520.577.4560
 www.c.c.a.-a.r.c.o.m

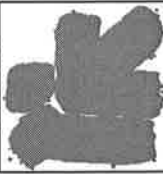
NEW SCHOOL CAMPUS FOR:
 LIBERTY TREE ACADEMY
 879 EASTONVILLE RD,
 PEYTON, CO 80521

CONSTRUCTION DOCUMENTS

DATE: APRIL 27, 2018
 DRAWN BY: PD
 CHECKED BY: ARCHITECTURAL SITE PLAN
 PROJECT NUMBER: SP1.0

SITE PLAN KEYNOTES:

1. ACCESSIBLE PARKING SPACE PER CIVIL DRAWINGS.
2. FIRE RISER ENTRANCE. PROVIDE FIRE RISER ROOM SIGNAGE.
3. FIRE HYDRANT PER CIVIL DRAWINGS.
4. SITE LIGHTING FIXTURES. SEE ELECTRICAL DRAWINGS.
5. WATER METER PER CIVIL PLANS.
6. PROPERTY LINE.
7. 25 HIGH FLAG-POLE.
8. BACKFLOW PREVENTER PER CIVIL PLANS.
9. INTEGRAL COLOR CMU SCREEN WALL OVER RETAINING WALL. SEE TYPICAL SITE WALL DETAIL.
10. CONCRETE CURB PER DETAILS. PAINTED RED CURB WITH NO PARKING FIRE 1" AND 1/4" WHITE LETTERS ON FACE OF THE CURB SPACED 80" ON CENTER. SEE LANDSCAPE DESIGNATION AS INDICATED WITH DASHED LINE.
11. CONCRETE RAMP PER CIVIL DRAWINGS.
12. CMU PILLAR AND WROUGHT IRON FENCE PER DETAIL.
13. W.I. GATE WITH KEY F.O.B. AND PANIC HARDWARE PER DETAIL.
14. SCORED CONCRETE WITH CONTROL JOINTS 8'-0" O.C. - PATTERN PER PLAN.
15. PROVIDE FLUSH-MOUNTED KNOX BOX, MODEL NO. 3206 SERIES @ 6'-0" A.F.F. ORDER AND INSTALL PER PHOENIX FIRE DEPARTMENT REQUIREMENTS.
16. TRASH ENCLOSURE GATE PER DETAIL. PROVIDE 6"x6" STEEL BOLTS AND 6" ABOVE CURB SPACED 80" ON CENTER. PROVIDE 1/2" AND 3/4" GALVANIZED AND PAINTED LIGHT TAIL.
17. DECOMPOSED GRANITE PER LANDSCAPE PLANS. DRAWINGS.
18. UNDERGROUND STORM DRAIN PER CIVIL DRAWINGS.
19. CYCLOPS 270x5 BICYCLE PARKING.
20. PLAY STRUCTURE BY OWNER GC TO COORDINATE INSTALLATION.
21. ELECTRICAL TRANSFORMER.
22. MONUMENT SIGN LOCATION, UNDER SEPARATE PERMIT AND SUBMITTAL.



Architects and Associates, Inc.
 2233 East Thomas Road
 Phoenix, Arizona 85016
 (602) 955-3900 RCAA.com

DESIGN APPROVAL

PRELIMINARY NOT FOR CONSTRUCTION

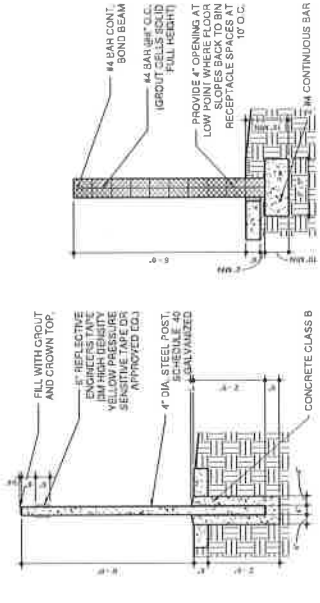


carhuff-cueva architects, llc
 3149 e prince rd #151
 Tucson, Arizona 85716
 phone 520-577-4560
 WWW.CC-AZ.COM

NEW SCHOOL CAMPUS FOR:
 LIBERTY TREE ACADEMY
 878 EASTOMVILLE RD.
 BEYTON, CO 80831

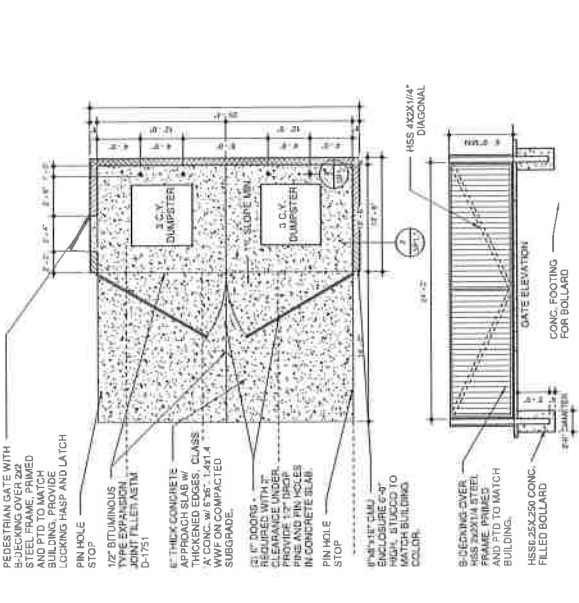
CONSTRUCTION DOCUMENTS

PROJECT NO.	DATE	DESCRIPTION
PT-1878		
DATE	BY	DESCRIPTION
APRIL 27, 2019		
REVISION	BY	DESCRIPTION
1	AI	ISSUED FOR PD
SITE DETAILS		
SP.1		

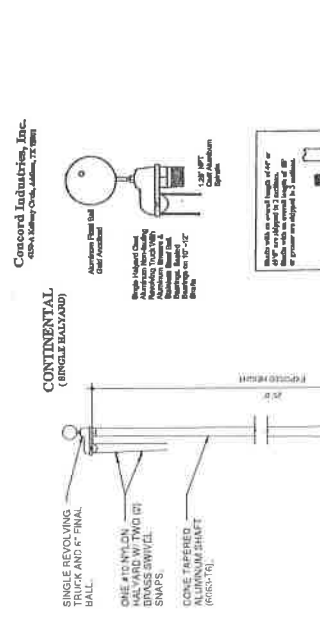


1 BOLLARD DETAIL
 12" x 12" x 12"

DUMPSTER ENCLOSURE GENERAL NOTES:
 1. SOIL BELOW THE WALL, FOOTER AND CONCRETE PAD SHALL BE COMPACTED TO A DEPTH OF 6 INCHES AND TO A MINIMUM DRY DENSITY OF 90% IN ACCORDANCE WITH ASTM D-2922 AND D-3017.
 2. STEEL REINFORCEMENT SHALL BE GRADE 40.
 3. STEEL REINFORCEMENT SHALL BE GRADE 40.
 4. CONCRETE SHALL BE CLASS B.

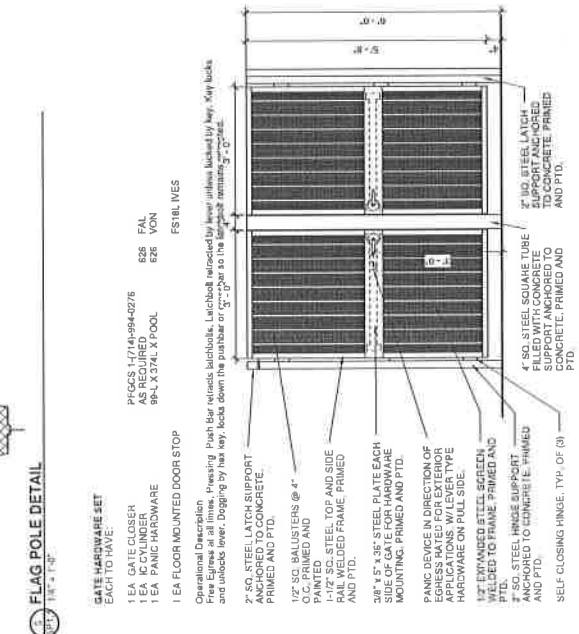


3 DUMPSTER ENCLOSURE
 36" x 36" x 10"



2 CONTINENTAL (SINGLE BOLLARD)
 12" x 12" x 12"

CONTINENTAL (SINGLE BOLLARD) GENERAL NOTES:
 1. SOIL BELOW THE WALL, FOOTER AND CONCRETE PAD SHALL BE COMPACTED TO A DEPTH OF 6 INCHES AND TO A MINIMUM DRY DENSITY OF 90% IN ACCORDANCE WITH ASTM D-2922 AND D-3017.
 2. STEEL REINFORCEMENT SHALL BE GRADE 40.
 3. CONCRETE SHALL BE CLASS B.

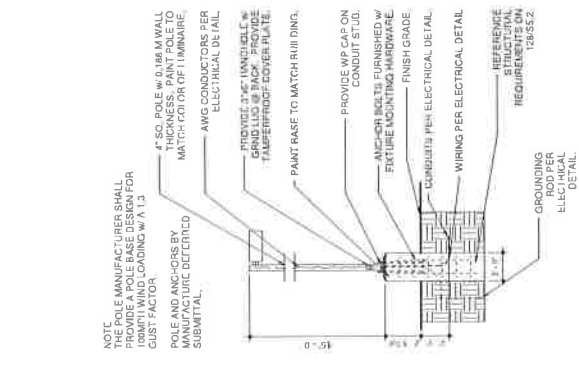


4 DOUBLE GATE DETAIL
 36" x 36" x 10"



5 FLAG POLE DETAIL
 18" x 18" x 10"

FLAG POLE DETAIL GENERAL NOTES:
 1. SOIL BELOW THE WALL, FOOTER AND CONCRETE PAD SHALL BE COMPACTED TO A DEPTH OF 6 INCHES AND TO A MINIMUM DRY DENSITY OF 90% IN ACCORDANCE WITH ASTM D-2922 AND D-3017.
 2. STEEL REINFORCEMENT SHALL BE GRADE 40.
 3. CONCRETE SHALL BE CLASS B.



6 LIGHT POLE DETAIL
 18" x 18" x 10"

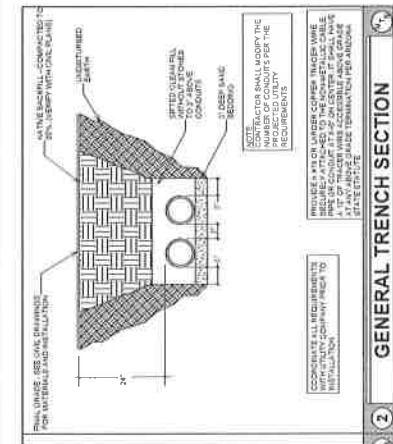
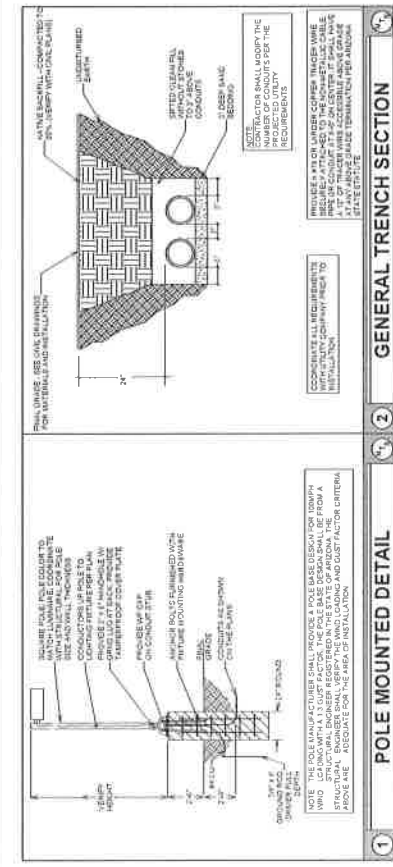


7 GATE HARDWARE SET
 626 FALL NON-FSBL WES

GATE HARDWARE SET:
 1 EA GATE CLOSER
 1 EA 1/2 CYLINDER
 1 EA PANIC HARDWARE
 1 EA FLOOR MOUNTED DOOR STOP



8 DOUBLE GATE DETAIL
 36" x 36" x 10"

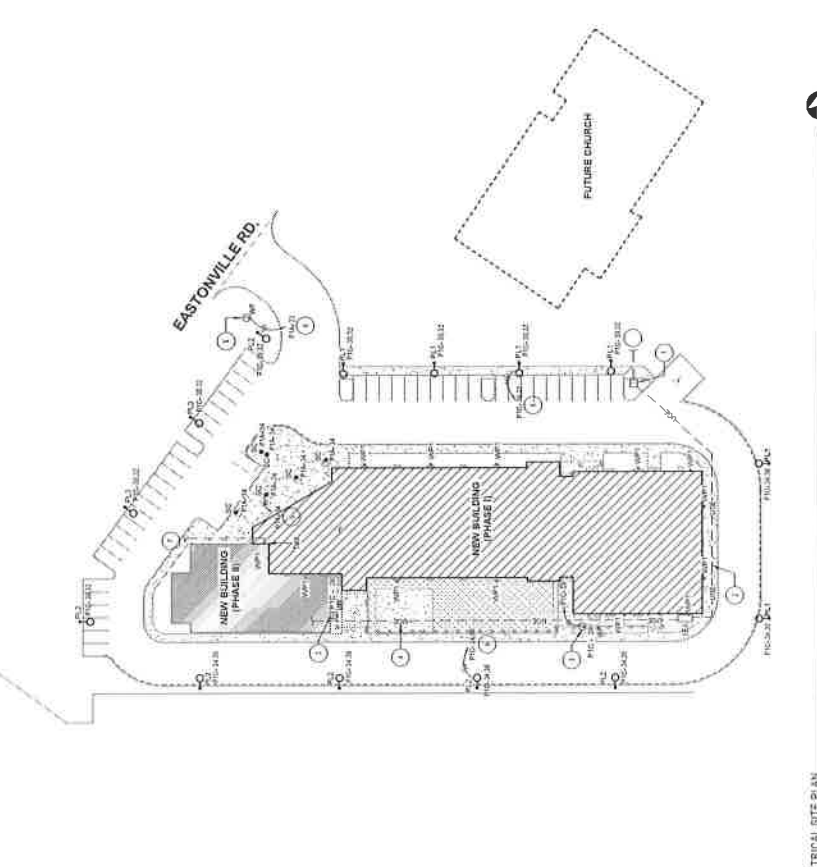


GENERAL NOTES

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
- ALL WORK SHALL BE PERMITTED UNDER THE CITY OF PEYTON PERMITS AND REGULATIONS.
- ALL TRANSFORMER BOXES, NEW PANELS, ELECTRIC SERVICE PANELS, AND ALL ELECTRICAL WORK SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- SEE SHEET 11 FOR GENERAL NOTES FOR ADDITIONAL UTILITY INFORMATION.
- ALL ELECTRICAL WORK SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- CONDUCTORS SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL WORK SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL WORK SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.

KEYED NOTES

- PROVIDE LOCATION OF UTILITY TRANSFORMER, ELECTRICAL SERVICE PANEL, AND ALL ELECTRICAL WORK TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
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LIBERTY TREE ACADEMY

carhuiff-cueva architects, llc
 3149 e prince rd #151
 Tucson, Arizona 85716
 phone 520.577.4560
 WWW.CCA-CAZ.COM

NEW SCHOOL CAMPUS FOR:
LIBERTY TREE ACADEMY
 1870 EASTONVILLE RD.
 PEYTON, CO 80531

PROJECT NO: 18001

DATE: MAY 8, 2018

SCALE: AS SHOWN

PROJECT: ELECTRICAL SITE PLAN

DESIGNER: E1.1

CONSTRUCTION DOCUMENTS

1-800-922-1987

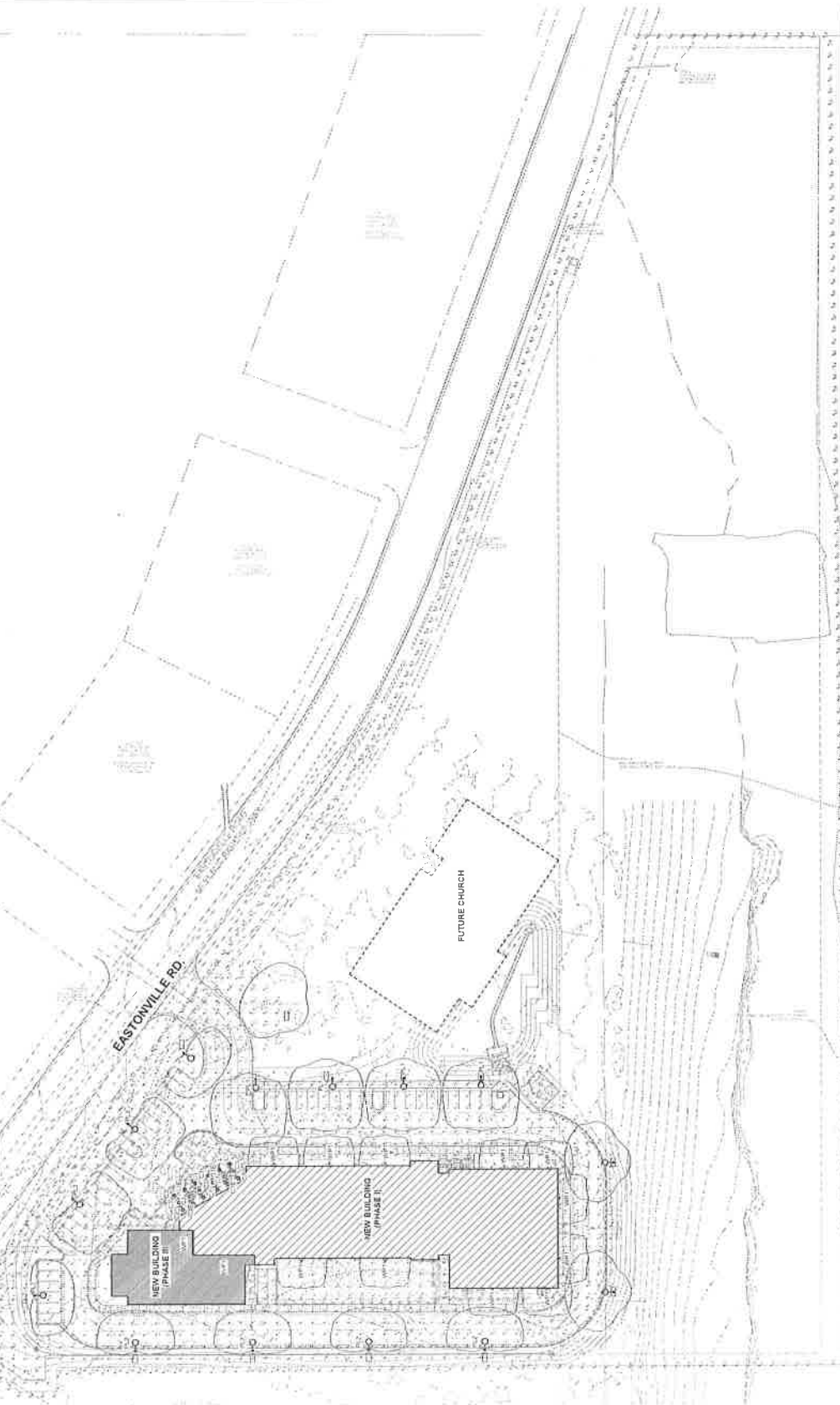
ASEI ENGINEERING

GENERAL NOTES

1. ALL EXTERIOR LIGHTING SHALL BE CENTER LAMP CENTERED TO RESULT IN EVEN BEING DIRECTED UP AT THE VERTICAL OF THE MOUNTING HEIGHT TO AVOID GLARE.

Calc Type	Units	Avg	Max	Min	Asym%	Max/Batt
Beamline	ft	2.20	3.4	0.0	11.4	N/A
Beamline	ft	2.02	3.1	0.0	11.4	N/A

Label	Area	Total Lamp Lumens	LFP	Description
NEW BUILDING PHASE II	10,242	1,024,200	0.124	NEW BUILDING PHASE II 10,242 SQ FT. MOUNTED AT 18'5" HIGHER W/ CONCRETE TO WALL
NEW BUILDING PHASE III	10,242	1,024,200	0.124	NEW BUILDING PHASE III 10,242 SQ FT. MOUNTED AT 18'5" HIGHER W/ CONCRETE TO WALL
FUTURE CHURCH	10,242	1,024,200	0.124	FUTURE CHURCH 10,242 SQ FT. MOUNTED AT 18'5" HIGHER W/ CONCRETE TO WALL
	30,726	3,072,600	0.372	



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NEW SCHOOL CAMPUS FOR:
 LIBERTY TREE ACADEMY
 8875 EASTONVILLE RD,
 PEYTON, CO 80831

CONSTRUCTION DOCUMENTS
 PROJECT NO: 18001
 DATE: MAY 8, 2018
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 AUTHOR: [blank]

ELECTRICAL SITE PHOTOMETRIC CALCULATIONS
 DRAWING NO: E1.2

1. SITE PHOTOMETRIC CALCULATIONS



PROJECT NO.	18001
DATE	MAY 16, 2011
SCALE	AS SHOWN
DRAWN BY	ALH/BJ
CHECKED BY	

TYPE WP1 WP2

Cree Edge™ Series

Product Specifications

- 1. Cree Edge™ Series is a new addition to the Cree Edge™ Series of LED lighting fixtures.
- 2. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
- 3. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
- 4. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
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- 8. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
- 9. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
- 10. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.

Performance Summary

Model	Power (W)	Power (VA)	Power (W)	Power (VA)	Power (W)	Power (VA)
CE1-1500	1500	1500	1500	1500	1500	1500
CE2-1500	1500	1500	1500	1500	1500	1500
CE3-1500	1500	1500	1500	1500	1500	1500

Notes

1. Cree Edge™ Series is a new addition to the Cree Edge™ Series of LED lighting fixtures.
2. Cree Edge™ Series is available in two configurations: Cree Edge™ Series and Cree Edge™ Series.
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CREE

10000 Cree Drive
Folsom, CA 95630
Tel: 916.448.2440
www.cree.com

TYPE WP1 WP2

AR Series

Product Specifications

- 1. Cree AR Series is a new addition to the Cree Edge™ Series of LED lighting fixtures.
- 2. Cree AR Series is available in two configurations: Cree AR Series and Cree AR Series.
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Performance Summary

Model	Power (W)	Power (VA)	Power (W)	Power (VA)	Power (W)	Power (VA)
AR1-1500	1500	1500	1500	1500	1500	1500
AR2-1500	1500	1500	1500	1500	1500	1500
AR3-1500	1500	1500	1500	1500	1500	1500

Notes

1. Cree AR Series is a new addition to the Cree Edge™ Series of LED lighting fixtures.
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