

COMMISSIONERS: MARK WALLER (CHAIR) LONGINOS GONZALEZ, JR. (VICE-CHAIR) HOLLY WILLIAMS STAN VANDERWERF CAMI BREMER

# PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT CRAIG DOSSEY, EXECUTIVE DIRECTOR

TO: El Paso County Planning Commission

Brian Risley, Chair

FROM: Nina Ruiz, Planner III

Gilbert LaForce, PE Engineer II Craig Dossey, Executive Director

RE: Project File #: PUDSP-19-001

Project Name: Trails at Aspen Ridge

Parcel No.: 55000-00-412

OWNER:	REPRESENTATIVE:
COLA LLC	COLA LLC
7910 Gateway Blvd East #102	7910 Gateway Blvd East #102
El Paso, TX 79915	El Paso, TX 79915

**Commissioner District: 4** 

Planning Commission Hearing Date:	12/3/2019
Board of County Commissioners Hearing Date	12/10/2019

#### **EXECUTIVE SUMMARY**

A request by COLA LLC for approval of a map amendment (rezoning) of 117.98 acres from RS-5000 (Residential Suburban) to PUD (Planned Unit Development) pursuant to a site specific PUD development plan to allow for the development of 605 single-family residential lots, rights-of-way, drainage, open space, and utility tracts. The Board of County Commissioners previously approved the Springs East at Waterview preliminary plan on February 12, 2019 which allowed the creation of 713 residential lots and 8



commercial lots. After the approval of the preliminary plan, the land was sold to COLA LLC. The applicants wish to revise the configuration that was originally approved in an effort to provide a variety of housing types within the residential PUDSP area. The property is located east of Powers Boulevard and south of Bradley Road and is within Section 9, Township 15 South, Range 65 West of the 6<sup>th</sup> P.M. The property is not located within a small area plan.

#### A. REQUEST/MODIFICATIONS/AUTHORIZATION

**Request:** Approval of a map amendment (rezoning) from RS-5000 (Residential Suburban) to PUD (Planned Unit Development) to develop 605 residential lots within an 117.98 acre development area. In accordance with Section 4.2.6.E, a PUD Development Plan May be approved as a Preliminary Plan, of the <u>El Paso County Land Development Code</u> (2019) the applicant is also requesting the PUD development plan be approved as a preliminary plan.

# Modification of Existing Land Development Code (LDC) or Engineering Criteria Manual (ECM) Standard:

For approval of a modification of a general development standard in the LDC or standard of the ECM, the BoCC shall find that the proposal provides for the general health, safety, and welfare of the citizens and at least one of the following benefits:

- Preservation of natural features:
- Provision of a more livable environment, such as the installment of street furniture, decorative street lighting or decorative paving materials;
- Provision of a more efficient pedestrian system;
- Provision of additional open space;
- Provision of other public amenities not otherwise required by the Code; or
- The proposed modification is granted in exchange for the open space and/or amenity designs provided in the PUD development plan and/or development guide.

The applicant requests the following modification(s) of the LDC:

 The applicant is requesting a PUD modification to Sections 8.4.4.A-D to allow private roads and that they are proposed not to be built to public road standards.
 See the ECM Modifications below for those aspects of the roadway which will not be built to County standards.

The PCD Executive Director recommends approval of the requested PUD modifications. Per the proposed PUD/Preliminary Plan, adequate lot accessibility can be provided via the proposed private roadway. The applicant has depicted a sidewalk design and layout that accommodates pedestrian movement throughout

the Proposed PUD/Preliminary plan and allows for connections to the adjacent existing sidewalks.

The applicants are requesting the following modification(s) of the ECM:

 The applicant requests a PUD modification of section 2.2.4.B.4 to permit meandering sidewalk with varying width (5 feet minimum width to 24.5 feet maximum width) for the landscape buffer from the back of curb along Legacy Hill Drive to allow a varied landscape design along the road.

Section 2.2.4.B.4 shows a constant 8 foot landscape buffer strip between the back of curb and sidewalk.

#### ECM Administrator Recommendation:

Recommend approval of the modification request. Per the PUD/Preliminary Plan, adequate pedestrian access is maintained. Maintenance of the landscape buffer as well as the landscaping along any public sidewalk shall be the responsibility of Waterview II Metropolitan District.

2. The applicant requests a PUD modification of section 2.2.5.E to allow local roadway intersection spacing less than 175 feet for the smaller lot where the private alleys intersect the local roads. Due to the specific product concept for the small lots the intersection spacing cannot be met.

Section 2.2.5.E of the <u>ECM</u> states: "Roads shall not intersect urban local roadways closer than 175 feet from each other (centerline to centerline)..."

#### ECM Administrator Recommendation:

Recommend approval of the modification request. The applicant shall maintain all other applicable criteria, standards, and regulations for intersection design.

3. The applicant requests a PUD modification of Section 2.5.2.C.4 of the <u>ECM</u> to omit midblock pedestrian crossings along Blue Miner Street, Lazy Ridge Drive, and Wagon Hammer Drive.

#### Section 2.5.2.C.4 of the ECM states:

"Access ramps on local roadways shall be spaced no greater than 600 feet apart. Where spacing is greater than 600 feet, mid-block access ramps shall be provided at spacing that minimize travel distances between access ramps. Private accesses may be used for these access points where the access is designed to meet access ramp requirements."

#### ECM Administrator Recommendation:

Recommend approval of the modification request. Per the PUD/Preliminary Plan, adequate pedestrian accessibility is provided by access ramps at all intersections and mid-block trail crossings. Additionally, the Federal Americans with Disabilities Act (ADA) has no requirements for maximum distance between pedestrian crossings that would necessitate mid-block pedestrian ramps

**Authorization to Sign:** PUD Development Plan and any other documents required to finalize the approval

#### **B. PLANNING COMMISSION SUMMARY**

**Request Heard:** 

**Recommendation:** 

Waiver Recommendation:

Vote:

**Vote Rationale:** 

**Summary of Hearing:** 

**Legal Notice:** 

#### C. APPROVAL CRITERIA

The Planning Commission and BOCC shall determine that the following the criteria for approval outlined in Section 4.2.6, and Section 7.2.1 of the <u>El Paso County Land Development Code</u> (2019), have been met to approve a PUD zoning district:

- The proposed PUD district zoning advances the stated purposes set forth in this section.
- The application is in general conformity with the Master Plan;
- The proposed development is in compliance with the requirements of this Code and all applicable statutory provisions and will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of El Paso County;
- The subject property is suitable for the intended uses and the use is compatible with both the existing and allowed land uses on the neighboring properties, will be in harmony and responsive with the character of the surrounding area and natural environment, and will not have a negative impact upon the existing and future development of the surrounding area;
- The proposed development provides adequate consideration for any
  potentially detrimental use to use relationships (e.g. commercial use adjacent
  to single family use) and provides an appropriate transition or buffering
  between uses of differing intensities both on-site and off-site which may
  include innovative treatments of use to use relationships;

- The allowed uses, bulk requirements and landscaping and buffering are appropriate to and compatible with the type of development, the surrounding neighborhood or area and the community;
- Areas with unique or significant historical, cultural, recreational, aesthetic or natural features are preserved and incorporated into the design of the project;
- Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide reasonable walking and biking opportunities;
- The proposed development will not overburden the capacities of existing or planned roads, utilities and other public facilities (e.g. fire protection, police protection, emergency services, and water and sanitation), and the required public services and facilities will be provided to support the development when needed;
- The proposed development would be a benefit through the provision of interconnected open space, conservation of environmental features, aesthetic features and harmonious design, and energy efficient site design;
- The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner which would unreasonably interfere with the present or future extraction of such deposit unless acknowledged by the mineral rights owner;
- Any proposed exception or deviation from the requirements if the zoning resolution or the subdivision regulation is warranted by virtue of the design and amenities incorporated in the development plan and development guide; and
- The owner has authorized the application.

The applicant has requested the proposed PUD also be reviewed and considered as a preliminary plan. Compliance with the requirements identified in Chapter 7 and Chapter 8 of the El Paso County Land Development Code (2019) for a preliminary plan requires the Planning Commission and the BoCC shall find that the additional criteria for a preliminary plan have also been met.:

- The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;
- The subdivision is consistent with the purposes of this Code;
- The subdivision is in conformance with the subdivision design standards and any approved sketch plan;
- A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of this Code;
- A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with state and local

laws and regulations, [C.R.S. §30-28-133(6) (b)] and the requirements of Chapter 8 of this Code;

- All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions.
   [C.R.S. §30-28-133(6)(c)];
- Adequate drainage improvements complying with State law [C.R.S. §30-28-133(3)(c)(VIII)] and the requirements of this Code and the ECM are provided by the design;
- The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development;
- Legal and physical access is or will be provided to all parcels by public rightsof-way or recorded easement, acceptable to the County in compliance with this Code and the ECM;
- The proposed subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision; (2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design features in the subdivision to provide a transition between the subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;
- Necessary services, including police and protection, recreation, utilities, open space and transportation system, are or will be available to serve the proposed subdivision;
- The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code; and
- The proposed subdivision meets other applicable sections of Chapter 6 and 8 of this Code.

#### D. LOCATION

North: CS (Commercial Service) Vacant
South: A-5 (Agricultural) Vacant
East: City of Colorado Springs Vacant

West: A-5 (Agricultural)

Blue Stem Open Space

#### E. BACKGROUND

The parcel was zoned A-2 (Agricultural) on May 11, 1942, when zoning was first initiated for this area of El Paso County. Due to changes in the nomenclature of the El Paso County Land Development Code, the A-2 zoning district has been renamed to the A-5 (Agricultural) zoning district.

The Trails at Aspen Ridge PUDSP is a portion of the Waterview Sketch Plan. The Waterview Sketch Plan (SKP-00-002) was approved by the Board of County Commissioners on May 10, 2001, by Resolution No. 01-191. At the time of the Waterview Sketch Plan approval, approximately 647 acres were acquired by the Trails, Open Space and Parks (TOPS) program now known as the Blue Stem Open Space area. Conditions were imposed limiting all zoning within the sketch plan area to Planned Unit Development (PUD); additionally, there was a condition requiring two lanes of Bradley Road, a four (4) lane arterial, to be built by the completion of Phase 1 (single-family development known as Painted Sky Filing Nos. 1-6).

In 2014, the Springs at Waterview Sketch Plan (SKP-13-001) amended two of the conditions of approval from the 2001 Waterview Sketch Plan. Those conditions included removal of the requirement for Planned Unit Development zoning within the boundaries of the sketch plan and downgrading Bradley Road from Grinnell Boulevard to Powers Boulevard from an arterial roadway to a collector roadway. It also required the completion of Bradley Road with Phase 1 from Grinnell Road to Goldfield Road. This section of Bradley Road has since been constructed and accepted by El Paso County for maintenance. Phase 4 will require the final build-out of Bradley Road from Goldfield Road to Powers Boulevard.

An administrative amendment to the sketch plan was approved April 2, 2018, which allowed for a decrease and reconfiguration of the commercial area from 108.6 acres to 107.5 acres, to eliminate one phase of multi-family development reducing the multi-family area from 39.9 acres to 28.5 acres, and to increase the single family residential area from 339.8 acres to 351.2 acres. As a result, the total number of dwelling units allowed in the sketch plan area was reduced from 2,096 to 2,017 dwelling units.

The Board of County Commissioners approved rezoning the parcel to the RS-5000 zoning district on May 22, 2018. The previous owner then received approval of a preliminary plan to allow 713 residential lots in February of 2019. After the preliminary plan approval, the commercial land was sold as well as the residential land being sold to COLA LLC who wishes to develop the residential lots with a different configuration than what was approved in an effort to provide a greater

variety of housing types. Approximately 118 acres of the 195 acre preliminary plan area is being reconfigured with the proposed Trails at Aspen Ridge PUDSP. The applicant wishes to keep the lot configuration the same as what was previously approved for the first filing, which includes 181 residential lots. The first filing is currently under review with Planning and Community Development.

#### F. ANALYSIS

#### 1. Land Development Code Analysis

This application meets the preliminary plan submittal requirements, the standards for Divisions of Land in Chapter 7, and the standards for Subdivision in Chapter 8 as well as the Planned Unit Development (PUD) requirements outlined in Chapter 4 of the El Paso County Land Development Code (2019).

### 2. Zoning Compliance

The PUD Development Plan identifies allowed and permitted uses; use, density, and dimensional standards such as setbacks, maximum lot coverage, and maximum building height; and overall landscaping requirements. The PUD Development Plan is consistent with the proposed PUD development guidelines and with the submittal and processing requirements of the <u>Land Development Code</u>.

### 3. Policy Plan Analysis

The <u>El Paso County Policy Plan</u> (1998) has a dual purpose; it serves as a guiding document concerning broader land use planning issues, and provides a framework to tie together the more detailed sub-area elements of the County Master Plan. Relevant policies are as follows:

- **Policy 6.1.3-** Encourage new development which is contiguous and compatible with previously developed areas in terms of factors such as density, land use and access.
- **Policy 6.1.10-** Ensure that new development will not create a disproportionately high demand on public services and facilities by virtue of its location, design or timing.
- **Policy 6.1.11-** Plan and implement land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.
- **Policy 6.2.9-** Discourage high volume traffic through neighborhoods by use of innovative techniques including traffic calming.
- **Policy 10.2.2-** Carefully consider the availability of water and wastewater services prior to approving new development.

**Policy 10.1.2-** Carefully consider the impacts that proposed new developments will have on the viability of existing and proposed water and wastewater systems.

**Goal 13.1-** Encourage an adequate supply of housing types to meet the needs of County residents.

**Policy 13.1.2-** Support the provision of land use availability to meet the housing needs of county residents.

The subject parcel is surrounded by undeveloped parcels on all sides. The adjacent land to the east is within the jurisdictional boundaries of the City of Colorado Springs and has been approved for urban development to include residential and commercial uses. This proposed PUDSP includes a roadway connection from the Trails at Aspen Ridge parcel to the approved City development that aligns with what is depicted in the approved City plans. The parcels to the north are presently zoned commercial. The parcel to the west is the Blue Stem Open Space area and will not develop in the future. Although the parcel is surrounded by vacant parcels at the present time, the proposed development will be functionally and aesthetically integrated within the context of adjoining properties and uses.

As discussed in the background portion above, the applicant is proposing the PUDSP in an effort to provide a variety of housing types to include traditional single-family residential, attached single-family residential, as well as urban small lot residential. In addition to proposing a variety of housing types, the proposed PUDSP depicts an interconnected pedestrian system with 27 acres of open space area.

Public water, wastewater, natural gas, and electrical services are all available for the development. A finding of consistency with the <u>Policy Plan</u> was made by the El Paso County Board of County Commissioners with the previously approved sketch plans (SKP-00-002, SKP-13-001). The same finding was made with approval of the administrative amendment to the sketch plan (SKP-16-002). The request for approval of a preliminary plan to create 605 single-family residential lots can be found to be in conformance with the approved sketch plan.

#### 4. Small Area Plan Analysis

The property is not within a small area plan.

#### 5. Water Master Plan Analysis

The <u>El Paso County Water Master Plan</u> (2019) has three main purposes; better understand present conditions of water supply and demand; identify efficiencies that can be achieved; and encourage best practices for water demand management through the comprehensive planning and development review processes. The applicant submitted the application prior to the adoption of the <u>Water Master Plan</u>, therefore, it is not an applicable review criterion.

#### 6. Other Master Plan Elements

The El Paso County Wildlife Habitat Descriptors (1996) identifies the parcels as having a high wildlife impact potential. El Paso County Community Services Department, Environmental Division and Colorado Parks and Wildlife were each sent a referral and have no outstanding comments.

The <u>Master Plan for Mineral Extraction</u> (1996) identifies no potential deposits in the area of the subject parcels. A mineral rights certification was prepared by the applicant indicating that, upon researching the records of El Paso County, no severed mineral rights exist.

#### G. PHYSICAL SITE CHARACTERISTICS

#### 1. Hazards

No hazards were identified in the review of the PUDSP.

#### 2. Wildlife

The El Paso County Wildlife Habitat Descriptors (1996) identifies the parcel as having a high wildlife impact potential.

#### 3. Floodplain

The property is located within flood zone X, area of minimal flood hazard and determined to be outside the 500-year floodplain, per FEMA's Flood Insurance Rate Map number 08041C0768G which has an effective date of December 7, 2018.

#### 4. Drainage and Erosion

The property is located within Big Johnson, West Fork Jimmy Camp Creek and Jimmy Camp Creek drainage basins. All three drainage basins are included in the El Paso County drainage basin fee program and fees will be due at the time of final plat(s) recordation.

The portion of the site located within Big Johnson generally drains to the west, the portion of the site located within West Fork Jimmy Camp Creek generally drains to the southeast and the portion of the site located within Jimmy Camp Creek generally drains to the east. Per the updated preliminary drainage report, stormwater runoff

will be collected by storm sewer systems and will be directed into three extended detention basins for water quality and full spectrum detention. These detention facilities are private and will be maintained by Waterview II Metropolitan District.

The applicant is continuing the pre-development grading that was approved with Springs East at Waterview preliminary plan. An updated pre-development grading and erosion control plan was submitted with this application. The plan calls for temporary construction best management practices to prevent sediment and debris from affecting adjoining properties and the public stormwater system before, during, and after grading activities.

#### 5. Transportation

The subdivision is subject to the El Paso County Road Impact Fee program (Resolution No. 18-471). The applicant has elected to include this subdivision within the El Paso County Public Improvement District No. 2 (PID #2) and is subject to the applicable road impact fees and mil levy.

The <u>2016 Major Transportation Corridors Plan Update</u> (MTCP) does not call for any improvement projects in the immediate vicinity of the site. No improvements associated with this development are reimbursable through the MTCP roadway improvements program.

The two proposed access points (one full movement and one right-in/right-out) along Bradley Road remain the same as what was approved with Springs East at Waterview preliminary plan. A deviation request for intersection spacing for these two access locations were approved with the sketch plan amendment (SKP-16-002).

Offsite improvements along Bradley Road consisting of auxiliary turn lanes as identified in the Traffic Impact Study (TIS) prepared by LSC, Inc., dated February 13, 2019 are currently in review with the Trails at Aspen Ridge Filing No. 1. The development is responsible for the entire cost of the required off-site improvements. All public interior roadways are planned to be constructed to El Paso County criteria and will be dedicated to the County for ownership and maintenance. Table 5 in the TIS provides a summary of the required improvements and the anticipated trigger point(s) warranting each improvement. The development proposed small lots at the northeast area of the site with alleys. These alleys are proposed to be privately owned and maintained by Waterview II Metropolitan District. Due to the non-standard small lots, PUD modifications to the ECM are requested by the applicant, see Section A above.

Per the TIS, a traffic signal is projected to be warranted at the full movement access once approximately 40% of the residential lots is developed (approximately 242 dwelling units). This development is responsible for the entire cost of installing the traffic signal at the intersection of Bradley Road and Legacy Hill Drive. Each final plat filing shall escrow a fair share contribution for a total of \$500,000 to be used towards the installation of the traffic signal once warranted.

#### H. SERVICES

#### 1. Water

Sufficiency:

Quality:

Quantity:

Dependability:

County Attorney letter to be provided at the hearing.

#### 2. Sanitation

Wastewater is provided by the Widefield Water and Sanitation District. The district has provided a commitment letter indicating they have capacity to serve the proposed single-family residential lots.

### 3. Emergency Services

The property is within the Security Fire Protection District.

#### 4. Utilities

Colorado Springs Utilities will provide natural gas service and Mountain View Electric will provide electrical service to the property.

### 5. Metropolitan Districts

The property is located within the Waterview II Metropolitan District.

#### 6. Parks/Trails

Land dedication and fees in lieu of park land dedication are not required for a map amendment (rezoning) or preliminary plan application. Fees in lieu of park land dedication will be due at the time of recording the final plat.

### 7. Schools

Land dedication and fees in lieu of school land dedication are not required for a rezone or preliminary plan application. Fees in lieu of school land dedication will be due at the time of recoriding the final plat.

#### I. APPLICABLE RESOLUTIONS

Approval Page 25 and 29 Disapproval Page 26 and 30

#### J. STATUS OF MAJOR ISSUES

There are no major outstanding issues.

#### K. RECOMMENDED CONDITIONS AND NOTATIONS

Should the Planning Commission and the Board of County Commissioners find that the request meets the criteria for approval outlined in Section 4.2.6, and Section 7.2.1 of the <u>El Paso County Land Development Code</u> (2019), staff recommends the following conditions and notations:

#### **CONDITIONS**

- Development of the property shall be in accordance with this PUD development plan. Minor changes in the PUD development plan, including a reduction in residential density, may be approved administratively by the Director of the Planning and Community Development Department consistent with the <u>Land</u> <u>Development Code</u>. Any substantial change will require submittal of a formal PUD development plan amendment application.
- 2. Approved land uses are those defined in the PUD development plan and development guide.
- 3. All owners of record must sign the PUD development plan.
- 4. The PUD development plan shall be recorded in the office of the El Paso County Clerk & Recorder prior to scheduling any final plats for hearing by the Planning Commission. The development guide shall be recorded in conjunction with the PUD development plan.
- 5. Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Parks and Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed threatened species.

 Applicable park, school, drainage, bridge, and traffic fee shall be paid to El Paso County Planning and Community Development at the time of final plat(s) recordation.

#### **NOTATIONS**

- 1. If a zone or rezone petition has been disapproved by the Board of County Commissioners, resubmittal of the previously denied petition will not be accepted for a period of one (1) year if it pertains to the same parcel of land and is a petition for a change to the same zone that was previously denied. However, if evidence is presented showing that there has been a substantial change in physical conditions or circumstances, the Planning Commission may reconsider said petition. The time limitation of one (1) year shall be computed from the date of final determination by the Board of County Commissioners or, in the event of court litigation, from the date of the entry of final judgment of any court of record.
- 2. Rezoning requests not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed withdrawn and will have to be resubmitted in their entirety.
- 3. Preliminary plans not forwarded to the Board of County Commissioners within 12 months of Planning Commission action shall be deemed withdrawn and shall have to be resubmitted in their entirety.
- 4. Approval of the preliminary plan will expire after two (2) years unless a final plat has been approved and recorded or a time extension has been granted.

#### L. PUBLIC COMMENT AND NOTICE

The Planning and Community Development Department nine (9) adjoining property owners on November 14, 2019, for the Planning Commission meeting. Responses will be provided at the hearing.

#### M. ATTACHMENTS

Vicinity Map Letter of Intent Development Plan / Preliminary Plan

### **El Paso County Parcel Information**

 PARCEL
 NAME

 5500000412
 COLA LLC

ADDRESS

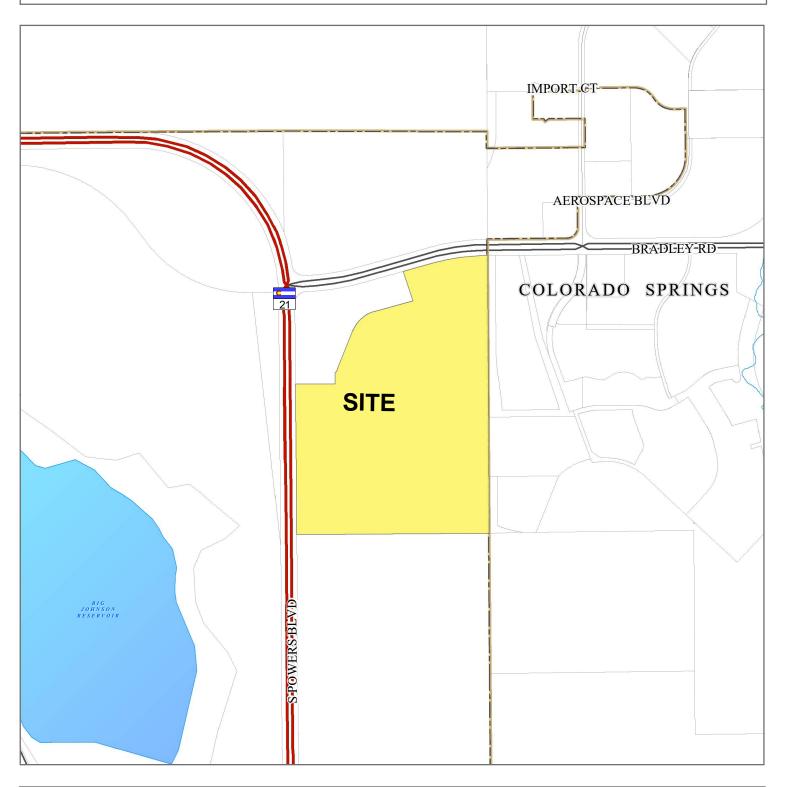
7910 GATEWAY BLVD EAST #102

		_		
CITY	STATE		ZIP	ZIPLUS
EL PASO	TX		79915	1810

File Name: PUDSP-19-001

Zone Map No. --

Date: November 14, 2019





# TRAILS AT ASPEN RIDGE LETTER OF INTENT

September 19, 2019

### PREPARED FOR:

COLA LLC 555 Middle Creek Pkwy, Suite 380 Colorado Springs, CO 80921 Owner/ Applicant: COLA LLC

555 Middle Creek Parkway, Suite 380

Colorado Springs, CO 80921

<u>Planner/ Civil:</u> Matrix Design Group

2435 Research Parkway, Suite 300

Colorado Springs, CO 80920

**Tax Schedule No:** 5500000412

#### **Site Location, Size, Zoning:**

The Trails at Aspen Ridge is a proposed single-family subdivision that was originally part of the Springs East at Waterview Preliminary Plan (SP-17-010) approved by the El Paso County Board of County Commissioners on February 12, 2019. The originally approved Preliminary Plan encompassed 713 single-family residential lots zoned RS-5,000 on 166.89 acres and 28.36 acres of commercial zoned parcels for a total of 195.25 acres.

The Trails at Aspen Ridge is proposing to amend 117.98 acres of the original approval through a PUD/ Preliminary Plan submittal to incorporate a mix of single-family residential lots sizes and product types of as well as parks and open space. The commercial acreage will remain as approved and is not included as part of this PUDSP. In addition, a final plat for 180 lots has been submitted utilizing the approved preliminary plan for the southeastern portion consisting of approximately 47 acres. This final plat filing while part of the overall development is not included with the proposed PUD/ Preliminary Plan submitted and will remain as approved and zoned. The project remains in conformance with the Waterview Sketch Plan Amendment approved October 24, 2018 by El Paso County Planning and Community Development which permits an overall density of 4-6 DU/ Acre.

The project is located southeast of the intersection of Powers Blvd. and Bradley Road with the main access into the site via approved locations along Bradley Road. The site is currently vacant with anticipated construction of filing one to occur in the Summer/ Fall of 2019.

#### Request and Justification:

The purpose of this application is to request approval of a combined PUD Development and Preliminary Plan and an Early Grading Request for the Trails at Aspen Ride project. The PUD Development and Preliminary Plan shows the general concept for the design of the single-family detached residential community and open spaces, as well as identify the development standards for the proposed residential product types. The plan describes the lot sizes, transportation systems, public rights-of-way, and easements necessary for the development. Since the site is quite large and grading operations are expected to be substantial, the early grading request will permit grading operations to

begin upon approval of the PUD/ Preliminary Plan and prior to Final Plat. Finally, the proposal includes several PUD modification requests which are discussed in more detail below.

The proposed application includes 605 new single family lots on 117.98 acres for a density of 5.13 DU/ Acre. The site layout incorporates a mix of lot sizes to include:  $50' \times 110' (5,500 \text{ SF})$ ; and  $60' \times 110' (6,600' \text{ SF})$ ;  $45' \times 95' (4,275 \text{ SF})$ ; a rear loaded detached lot type of  $35' \times 110' (3,850 \text{ SF})$ , and a two-family residential lot types of  $40' \times 70' (2,800 \text{ SF})$ . The rear loaded lot types will have the garage accessed via a private alley way with the front door facing either a public street or an open space greenway. Corner lots for all unit types were designed with additional lot width to accommodate both the increased corner lot setback requirements and potential three-car garage housing types.

The proposed small lot, alley-loaded product type is a recent introduction to the housing styles found within El Paso County. While this product type has become more common place within the City of Colorado Springs, market demand has driven an increase in this type of product within newly designed county master planned communities. The rearloaded product creates a Traditional Neighborhood environment where the front doors face common open space or public streets with the garages located at the rear of the house to be accessed via the private roadways/ alleys. This design and housing style creates more open space and common areas for use by the community increasing opportunities for gathering and socializing. Pedestrian connectivity is provided throughout the development allowing safe routes through and within the community. With this new style of residential design within El Paso County, provided parking could be a concern. The EPCLDC Section 6.2.5, Table 6-2 indicates single-family residential shall provide 2 spaces per dwelling unit and single family attached shall provide 2 spaces per dwelling unit plus 1 guest space for per 4 units. As shown on the PUDSP, there are (66) proposed single family attached units within Phase 5 requiring 2 spaces per unit, plus an additional (17) guest parking stalls. To alleviate parking concerns and to meet parking requirements, parking is provided throughout the rear-loaded product type area through a combination of options. Every unit will have both a 2-car garage and a fullsize driveway large enough for 2-vehicles, providing a minimum of (4) parking spaces for every house within the Trails at Aspen Ridge. In addition, in those areas where the units face open space and on-street parking is limited, (39) off-street guest parking spaces have been strategically located. These off-street guest parking stalls were provided to further mitigate parking concerns. Finally, most of the alley-loaded units both detached and attached, either front or are adjacent to a public street where on-street parking is permitted. This on-street parking provides ample parking for guests through an additional (2) parking spaces per unit on average.

The site is bordered by Powers Boulevard to the west; Bradley Road to the north; vacant city zoned land to the east; and the existing Springs East at Waterview Filing 1 to the south. There is no proposed access to the Powers Boulevard and with future access points to adjacent parcels provided to the south and the east. There are two access

points located along Bradley Road that were approved with the original preliminary plan which shall remain. A traffic impact analysis has been completed and is included with this submittal.

The community has been redesigned from its original layout to provide for functioning pedestrian centric and vehicular circulation. Numerous pedestrian walkways and connections have been provided throughout the development in coordination with the various green and park spaces provided. A large central park area has been provided to serve as a focal point and amenity for the future residents of the Trails at Aspen Ridge. A phasing plan has been provided and indicates four total phases in addition to Phase 1 which is not a part of this application. The project will be developed based on market trends and buyer demands and may be developed out of sequential order. Roadways, utilities, drainage, etc. will be constructed as necessary to facilitate development construction and sequencing permitting the building of several unit types concurrently if need be.

# El Paso County PUD Section 4.2.6(D) Approval Criteria, 1998 El Paso County Policy Plan, and El Paso County Preliminary Plan Section 7.2.1(D)-2E Approval Criteria:

The purpose of the PUD is to provide the information necessary to rezone a property to the PUD Zoning district and to provide a graphical representation to serve as the zoning of the property after approval. The PUDSP sets forth the stated purpose of the PUD Zoning and Preliminary Plan Criteria through illustrated detailed use design, dimensional and development standards, building and parking locations, service connections, landscaping and other important site improvements.

The 1998 El Paso County Policy Plan establishes broad goals and policies intended to serve as a framework for land use applications and development in the County. The County Wide Policy Plan ties the specific small area plans, and other Master Plan elements such as the Master Plan for Mineral Extraction, the El Paso County Department of Parks and Leisure Services Master Plan and the Major Transportation Corridors Plan together. The Policy Plan provides general direction in terms of density, buffers, transitions, and infrastructure where no small area plan exists. The Trails at Aspen Ridge PUDSP meets the requirements of these planning tools as outlined in more detail within the sections below.

The proposed Trails at Aspen Ridge project is in general conformance with the El Paso County Policy Plan and the approved Waterview Sketch Plan. The approved Waterview Sketch Plan indicates residential use at a density of 4-6 DU/ Acre for this area of which the PUDSP conforms. The proposed property is suitable for the intended use and the use is compatible with both the existing and allowed land uses on the neighboring properties to the west and southeast consisting of single family residential or open space. The new development will be in harmony with the existing surrounding character of the area and natural environment using varying residential densities,

perimeter buffering and provisions for both natural and built open space. There are no areas of significant historical, cultural or recreational features found on site.

Though the project site is not located within any small area master plans, the application follows the requirements of this code and all applicable statutory provisions. The project has been designed to not be detrimental to the health, safety, or welfare of the present or future inhabitants by meeting the submittal guidelines as illustrated in the zoning code and application packet. The proposed deviations from the requirements of the zoning resolution or the subdivision regulations is warranted by virtue of the design and amenities incorporated in the development plan and development guide. The deviation requests and justification are highlighted in detail in the sections below.

The Trails at Aspen Ridge project will not have a negative impact upon the existing and future development of the area. The design approach supports *Policy 6.1.1: Allow for a balance of mutually supporting interdependent land uses, including employment, housing and services in the more urban and urbanizing areas of the County and Policy 6.1.3: Encourage new development which is contiguous and compatible with previously developed areas in terms of factors such as density, land use and access.* 

The proposed application provides adequate consideration for any potentially detrimental use and provides an appropriate transition or buffering between uses of differing intensities both on-site and off-site. The site design includes various landscape buffers; open space corridors; pedestrian connectivity; and a centrally located park site. Increased landscape setbacks have been provided along Legacy Hill Drive to create an enhanced streetscape and pedestrian corridor for the development. There are no landscape related PUD Modifications being requested as this time.

The proposed single-family residential use will not overburden the capacities of existing or planned roads, utilities or other public features, drainage and grading, police protection, emergency services, and water/ wastewater services. These services were planned for in advance through the Sketch Plan process in order to be adequately sized to meet the demands of this development. Fees in lieu of land will be provided for schools. A police/ fire station site location has not been requested as part of this development and is not provided. A sufficient water supply has been acquired and can be provide the water necessary for the proposed units and associated irrigation needs. In addition, a wastewater system has been established and can adequately serve the proposed units. Please refer to the water and wastewater reports for more information.

By providing open space areas and extending existing utility services already approved and in place, the proposed development supports both *Policy 6.1.5: Support the development of well-planned mixed-use projects* and *Policy 6.1.11: Plan and implement* 

land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.

#### **Master Plan for Mineral Extraction:**

The 1996 Master Plan for Mineral Extraction updates and supersedes the 1975 El Paso County Master Plan for Mineral Extraction of Commercial Mineral Deposits as amended in 1978 and 1982. This updated plan has two primary purposes, the first is to facilitate continued compliance with the mineral resource protection mandates outlined in the "Preservation of Commercial Mineral Deposits Act" of 1973 and the second is to provide guidance to the EL Paso County Planning Commission and Board of County Commissioners in evaluating land use proposals involving new or expanded mining and mineral resource processing operations. Per the El Paso County Master Plan for Mineral Extraction Aggregate Resource Maps, this site is identified as 'Eolian Deposits' of windblown sands. The proposed project does not contain any mineral deposits of commercial value and does not permit the use of any area containing a commercial mineral deposit which would unreasonably interfere with the present or future extraction of such deposits.

**Total Number of Residential Units, Density, and Lot Sizes:** 605 Single-Family Residential Units on 117.98 acres with a density of 5.13 DU/ Acre.

#### **Total Number of Industrial or Commercial Sites:**

There are no industrial or commercial sites proposed with this application.

#### Areas of Required Landscaping:

The proposed PUD/ Preliminary Plan includes landscape design and streetscape planting requirements for the streetscapes along Powers Blvd., Frontside Drive, Legacy Dr, and Bradley. The landscape design includes a mix of deciduous and evergreen trees, varying ground plane treatments, and numerous planting beds. There are no landscape waivers being requested at this time.

#### **Approximate Acres and Percent of Land Set Aside for Open Space:**

Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide pedestrian corridors throughout the development. The Trails at Aspen Ridge project is proposing 27.04 acres of open space which is 22.9% of the project area. Per the EPCLDC PUD requirements, the minimum amount of required open space is 10% of the 117.98 acres project site or 11.80 acres. The provided open space with this submittal is in addition to the open space and park area provided within the Filing 1 Plat.

The proposed development benefits through the provision of interconnected open space, aesthetic park features and harmonious design. The Trails at Aspen Ridge project is proposing various types of recreational amenities to include active and passive open space areas; trail and pedestrian connectivity corridors; common open space for

the rear loaded product types; and a 6-acre central park site. Final design of the park site and common open space areas will be completed with future final plat filings at which time coordination with the El Paso County Parks Department will be completed regarding potential park land agreements for the provided improvements.

#### **Traffic Engineering:**

Vehicular access and street layout shall be as illustrated on the PUD/ Preliminary Plan drawings. The Trails at Aspen Ridge will be accessed from Bradley Rd. via two intersection locations which were previously approved. Traffic will be dispersed by two collector streets with two proposed round-a-bouts to help with traffic flow and levels of service. As discussed elsewhere the Trails at Aspen Ridge project is proposing several private access roads to serve the rear loaded unit types. A PUD modification has been requested to permit the private roads. All other roadways will be public, built to El Paso County standards.

The applicant requests that platted lots within The Trails at Aspen Ridge be included in the county wide Public Improvements District (PID 2) being formed and implemented as part of the Traffic Impact Fee resolution.

#### **Proposed Services:**

The Trails at Aspen Ridge will be a part of the Waterview II Metropolitan District which will own and maintain common areas such as setbacks, trails, pedestrian corridors, parks, open space, private streets, signage, and detention facilities. This development will be served by the additional entities as outlined below:

Water: Widefield Water and Sanitation District
 Wastewater: Widefield Water and Sanitation District

3. Gas: City of Colorado Springs4. Electric: Mountain View Electric

5. Fire: Security Fire Protection District

6. School: Widefield District #3

7. Library: Pikes Peak Library District

8. Roads: El Paso County Road and Bridge9. Police Protection: El Paso County Sheriff's Department

#### Impacts associated with the PUD Development Plan & Preliminary Plan:

<u>Floodplain:</u> This site is not located within a designated FEMA floodplain as determined by the flood insurance map, community map number '08041C0768G' effective date December 7, 2018.

<u>Site Geology:</u> Entech Engineering, Inc. has provided a Soils, Geology and Geologic Hazard report with previous submittals which has been reviewed and approved. This report has identified several potential Geologic Hazards on site related to development

of the property along with proposed mitigation of the hazards. The development will incorporate the recommended mitigation during final design and construction on site.

<u>Wetlands:</u> There are no drainage areas, drainage ways or water courses found on site, as a result there are not wetlands present. All drainage and erosion criteria have been met following El Paso County Development Standards.

<u>Air Pollution:</u> By adhering to current air quality regulations, any air pollution emanating from the development will be negligible. Currently, the site has very little vegetation which results in a high amount of dust during windy days; however, the proposed development will provide irrigated turf areas and native seeding to alleviate the dust issues. Construction practices will adhere to El Paso County health department, as well as state department codes and regulations

<u>Water Pollution:</u> By adhering to current wastewater and stormwater regulations, any water pollution emanating from the development will be negligible. An erosion and sedimentation plan will be in place prior to construction.

<u>Noise Pollution:</u> Vehicular movement is expected to be the only major source of noise pollution emanating from the site after construction is complete. The proposed development is surrounded by similar land uses, and the effects of noise generated from the site will have little or no impact on other surrounding areas.

<u>Visual Assessment</u>: The natural mountain backdrop of the Rampart Range is perhaps the best natural feature of Trails at Aspen Ridge community with sweeping view in nearly all directions. The scenic view shed is impaired somewhat by intervening development; however, the panoramic views remain quite spectacular.

# TRAILS AT ASPEN RIDGE

# PLANNED UNIT DEVELOPMENT

A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

### **GENERAL PROVISIONS:**

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) PLAN IS TO PROVIDE FOR SINGLE-FAMILY RESIDENTIAL UNITS FOR THE TRAILS AT ASPEN RIDGE DEVELOPMENT PROJECT

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR TRAILS AT ASPEN RIDGE IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF TRAILS AT ASPEN RIDGE PROVIDED. HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN. THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN

### **GENERAL NOTES**

- 1. ALL WATER SYSTEM ELEMENTS AND SANITARY SEWERAGE CONVEYANCE CONDUITS AND THEIR ASSOCIATED APPURTENANCES SHALL BE
- DEDICATED TO THE WIDEFIELD WATER & SANITATION DISTRICT. ALL OTHER UTILITIES SHALL BE OWNED AS APPROPRIATED. 2. ALL ELECTRIC SERVICE SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL
- BE LOCATED WILL BE GIVEN UTILITY EASEMENTS AS REQUIRED.
- NATURAL GAS SHALL BE PROVIDED BY CITY OF COLORADO SPRINGS. 4. PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF ALL LOTS AS FOLLOWS:
- A) FRONT: TEN FEET (10')
- C) REAR: TEN (10') E) ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNATED FOR PUBLIC UTILITIES AS REQUIRED.
- STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TRAILS AT ASPEN RIDGE DESIGN GUIDELINES.
- 7. NEW SIDEWALKS WITHIN THE PUBLIC RIGHT OF WAY ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS AT TIME OF DEVELOPMENT. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY
- DAMAGES AFTER THE INITIAL INSTALLATION. 8. ALL PRIVATELY OWNED OR PRIVATE ACCESS SIDEWALKS WITHIN THE REAR LOADED PRODUCT FINAL PLAT FILINGS WILL BE INSTALLED TO FOLLOW UNIT CONSTRUCTION
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE.
- 10. GRASS BUFFER BMPS WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- 11. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO A NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT RECORDED AT RECEPTION NO. 213006737, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND
- 12. THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

# LANDSCAPE

- URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY.
- 2. ANY FUTURE PARK SITE LOCATIONS, AMENITIES AND TIMING OF INSTALLATION ARE TO BE DETERMINED WITH FUTURE FILINGS BASED ON SEQUENCING OF CONSTRUCTION. 2. LANDSCAPING AREAS, TRAILS, PARKS, AMENITIES, COMMON OPEN SPACE, COMMON FENCES AND WALLS, AND COMMON PLANT MATERIAL
- SHALL BE OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT.
- 3. ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES. LICENSE AGREEMENT RESOLUTION
- 4. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.3.6.G. THE MINIMUM
- HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- 5. FINAL ALIGNMENT OF TRAILS TO BE DETERMINED IN THE FIELD BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES.

# **GEOLOGICAL HAZARDS:**

- A 'SOILS, GEOLOGY AND GEOLOGIC HAZARD REPORT' FOR SPRINGS AT WATERVIEW EAST EL PASO, COUNTY, WAS COMPLETED BY ENTECH ENGINEERING ON FEBRUARY 21, 2018 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE TRAILS AT ASPEN RIDGE PROJECT. THE GEOLOGY AND SOILS REPORT FOR SPRINGS AT WATERVIEW EAST WAS APPROVED AS PART OF THE SPRINGS EAST AT WATERVIEW PRELIMINARY PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS ON FEBRUARY 12, 2019. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER SP-17-010. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS.
- THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS: HOWEVER, THE POTENTIAL FOR GEOLOGIC HAZARDS OR CONSTRAINTS DO EXISTS RELATED TO THE POTENTIAL FOR SHALLOW BEDROCK, COLLAPSIBLE SOILS AND/ OR EXPANSIVE SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND
- AREAS OF POTENTIALLY SEASONAL GROUNDWATER WERE OBSERVED IN EASTERN AREAS OF THE SITE. THESE AREAS WILL LIKELY BE MITIGATED WITH SITE GRADING AND PROPER STORMWATER PLANNING. IN AREAS WHERE HIGH SUBSURFACE MOISTURE CONDITIONS ARE ANTICIPATED PERIODICALLY, A SUBSURFACE PERIMETER DRAIN WILL BE NECESSARY TO HELP PREVENT THE INTRUSION OF WATER INTO AREAS LOCATED BELOW GRADE. ADDITIONAL SUBSURFACE SOIL INVESTIGATION IS RECOMMENDED PRIOR TO CONSTRUCTION.

# FLOODPLAIN NOTES:

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041C0768G', EFFECTIVE DATE 'DECEMBER 7, 2018'.

# ARCHITECTURAL CONTROL COMMITTEE REVIEW

INDIVIDUAL UNIT BUILD OUT, DESIGN, AND ARCHITECTURAL STYLE SHALL BE IN ACCORDANCE TO ARCHITECTURAL CONTROL COMMITTEE RULES AND REGULATIONS OF THE WATERVIEW II METROPOLITAN DISTRICT. AS WELL AS THE TRAILS AT ASPEN RIDGE CCR'S. THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRAILS AS ASPEN RIDGE, AND THE TRAILS AT ASPEN RIDGE DESIGN GUIDELINES.

A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 9; THENCE N00°19'32"W ON THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 9, A DISTANCE OF 1,600.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION;

- 1) THENCE N90°00'00"W A DISTANCE OF 511.94 FEET TO A POINT OF CURVE TO THE RIGHT; 2) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 690.00 FEET, A DELTA ANGLE OF 14°33'21", AN ARC LENGTH OF 175.29 FEET, WHOSE LONG
- CHORD BEARS N82°43'20"W A DISTANCE OF 174.82 FEET; 3) THENCE S14°33'21"W A DISTANCE OF 123.85 FEET
- 4) THENCE S12°47'44"W A DISTANCE OF 80.40 FEET TO A POINT OF CURVE TO THE RIGHT;
- 5) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 92°52'44", AN ARC LENGTH OF 32.42 FEET, WHOSE LONG CHORD BEARS \$59°14'18"W A DISTANCE OF 28.99 FEET TO A POINT OF COMPOUND CURVE TO THE RIGHT;
- 6) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 915.00 FEET, A DELTA ANGLE OF 00°20'29", AN ARC LENGTH OF 5.45 FEET, WHOSE LONG CHORD BEARS N74°09'06"W A DISTANCE OF 5.45 FEET:
- 7) THENCE S15°57'58"W A DISTANCE OF 50.00 FEET TO A NON-TANGENT CURVE TO THE RIGHT; 8) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 965.00 FEET, A DELTA ANGLE OF 06°15'56", AN ARC LENGTH OF 105.53 FEET, WHOSE LONG
- CHORD BEARS N70°51'04"W A DISTANCE OF 105.47 FEET: 9) THENCE S00°00'00"W A DISTANCE OF 214.74 FEET;
- 10) THENCE S88°42'27"W A DISTANCE OF 110.10 FEET
- 11) THENCE N01°25'17"W A DISTANCE OF 4.78 FEET: 12) THENCE S88°27'00"W A DISTANCE OF 160.00 FEET.
- 13) THENCE S00°08'37"W A DISTANCE OF 44.57 FEET;
- 14) THENCE S02°52'08"W A DISTANCE OF 44.56 FEET
- 15) THENCE S05°32'45"W A DISTANCE OF 44.55 FEET
- 16) THENCE S08°16'16"W A DISTANCE OF 44.55 FEET: 17) THENCE S10°58'49"W A DISTANCE OF 44.56 FEET:
- 18) THENCE S13°41'29"W A DISTANCE OF 44.57 FEET
- 19) THENCE S17°04'35"W A DISTANCE OF 44.59 FEET;
- 20) THENCE S19°47'14"W A DISTANCE OF 44.56 FEET:
- 21) THENCE S22°29'47"W A DISTANCE OF 44.55 FEET:
- 22) THENCE S25°12'20"W A DISTANCE OF 44.55 FEET
- 23) THENCE S27°14'20"W A DISTANCE OF 22.28 FEET
- 24) THENCE S29°42'04"W A DISTANCE OF 49.02 FEET;
- 25) THENCE S35°26'44"W A DISTANCE OF 49.01 FEET;
- 26) THENCE S36°30'56"W A DISTANCE OF 116.64 FEET 27) THENCE S32°43'04"W A DISTANCE OF 66.86 FEET;
- 28) THENCE S14°55'16"W A DISTANCE OF 66.77 FEET
- 29) THENCE S00°26'25"E A DISTANCE OF 193.86 FEET:
- 30) THENCE S90°00'00"W A DISTANCE OF 159.90 FEET
- 31) THENCE S00°00'00"E A DISTANCE OF 13.82 FEET;
- 32) THENCE S89°33'35"W A DISTANCE OF 110.00 FEET;
- 33) THENCE N00°26'25"W A DISTANCE OF 12.59 FEET; 34) THENCE S89°33'35"W A DISTANCE OF 160.00 FEET:
- 35) THENCE S00°26'25"E A DISTANCE OF 55.00 FEET TO A POINT OF CURVE TO THE RIGHT;
- 36) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET, WHOSE LONG CHORD BEARS S44°33'35"W A DISTANCE OF 28.28 FEET;
- 37) THENCE S89°33'35"W A DISTANCE OF 358.00 FEET TO A POINT OF CURVE TO THE RIGHT: 38) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 27.00 FEET, A DELTA ANGLE OF 89°57'15", AN ARC LENGTH OF 42.39 FEET, WHOSE LONG CHORD
- BEARS N45°27'48"W A DISTANCE OF 38.17 FEET; 39) THENCE N00°29'10"W A DISTANCE OF 20.98 FEET
- 40) THENCE S89°30'50"W A DISTANCE OF 224.98 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF HIGHWAY 21, AS RECORDED IN BOOK 5307 AT PAGE
- 1472 OF THE RECORDS OF SAID EL PASO COUNTY: 41) THENCE N00°29'10"W ON SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,691.70 FEET;
- 42) THENCE S90°00'00"E A DISTANCE OF 515.00 FEET; 43) THENCE N00°00'00"E A DISTANCE OF 148.75 FEET TO A NON-TANGENT CURVE TO THE LEFT:
- 44) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 260.00 FEET, A DELTA ANGLE OF 13°32'37", AN ARC LENGTH OF 61.46 FEET, WHOSE LONG
- CHORD BEARS N28°47'53"E A DISTANCE OF 61.32 FEET; 45) THENCE N22°01'36"E A DISTANCE OF 538.12 FEET TO A POINT OF CURVE TO THE RIGHT:
- 46) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 410.00 FEET, A DELTA ANGLE OF 52°19'12", AN ARC LENGTH OF 374.39 FEET, WHOSE LONG CHORD BEARS NAS°11'12"E A DISTANCE OF 361 52 FEET 47) THENCE N74°20'48"E A DISTANCE OF 525.87 FEET:
- 48) THENCE N15°39'12"W A DISTANCE OF 470.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
- THE FOLLOWING THREE (3) COURSES FOLLOW SAID SOUTHERLY RIGHT-OF-WAY LINE:
- 49) THENCE N74°20'48"E A DISTANCE OF 385.15 FEET TO A POINT OF CURVE TO THE RIGHT. 50) THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2,759.79 FEET, A DELTA ANGLE OF 15°09'41", AN ARC LENGTH OF 730.29 FEET, WHOSE LONG CHORD BEARS N81°55'39"E A DISTANCE OF 728.16 FEET;
- 52) THENCE S00°19'32"E A DISTANCE OF 2,038.35 FEET TO THE POINT OF BEGINNING.
- THE ABOVE TRACT OF LAND CONTAINS 5,139,369 SQUARE FEET OR 117.984 ACRES, MORE OR LESS.

# PUD MODIFICATION TABLE

# (AS PERMITTED BY LDC SECTION 4.2.6.(F)(2)(a))

\*SEE LETTER OF INTENT FOR ADDITIONAL JUSTIFICATION OF PROPOSED MODIFICATIONS TO ECM STANDARDS

51) THENCE N89°30'29"E A DISTANCE OF 3.77 FEET TO A POINT ON THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 9;

LDC/ ECM SECTION	CATEGORY	STANDARD	MODIFICATION	JUSTIFICATION
LDC SECTION 8.4.4.(A, B, C, D)	PRIVATE STREETS	ALL STREETS TO BE PUBLICLY OWNED & MAINTAINED	TO PERMIT THE USE OF PRIVATE STREETS	TO PERMIT THE USE OF PRIVATE STREETS AS ACCESS DRIVES FOR THE REAR LOADED LOT STYLE
LDC SECTION 8.4.3.(B2) & ECM SECTION 2.5.2.(C4)	MID-BLOCK CROSSINGS	ACCESS RAMPS ON LOCAL ROADWAYS SHALL BE SPACED NO GREATER THAN 600' APART	PROVIDE ACCESS RAMPS SPACED FURTHER THAN 600' APART ALONG BLUE MINER ST., LAZY RIDGE DR., & WAGON HAMMER DR.	PEDESTRIAN ACCESSIBILITY AND SIDEWALK CONNECTIONS ARE PROVIDED BY ACCESS RAMPS ALONG MID-BLOCK CROSSINGS WHERE INTERSECTING WITH INTERNAL TRAIL SYSTEMS.
ECM SECTION FIGURE 2-14 TYP. URBAN NON-RES COLLECTOR CROSS SECTION	SIDEWALK LOCATION & SPACING FROM BACK OF CURB	REQ. 8' PLANTING PARKWAY BETWEEN SIDEWALK AND BACK OF CURB ALONG LEGACY DR.	PERMIT A CURVILINEAR SIDEWALK ALONG LEGACY DRIVE W/ VARYING WIDTH OF PARKWAY BETWEEN SIDEWALK AND BACK OF CURB.	CURVILINEAR SIDEWALK CREATES A MORE INTERESTING STREETSCAPE AND ALLOWS A VARIED LANDSCAPE DESIGN ALONG THIS MAIN COLLECTOR ROADWAY
ECM SECTION 2.2.5.(E)	URBAN LOCAL ROADWAY ACCESS SPACING	URBAN LOCAL ROADWAYS SHALL NOT INTERSECT CLOSER THAN 175' AND SHALL NOT INTERSECT A COLLECTOR CLOSER THAN 200'	TO ALLOW LOCAL RES. STREETS TO INTERSECT AT VARYING LENGTHS LESS THAN 175'.	THE PROPOSED LOTS ARE IN RESPONSE TO A SHIFT IN RESIDENTIAL DEMAND FOR SMALLER LOTS WHICH CREATES SITUATIONS WHERE INTERSECTION SPACING CANNOT BE MET. ALL OTHER SAFETY CRITERIA HAS BEEN MET SUCH AS SIGHT VISIBILITY TRIANGLES.

# LAND OWNER CERTIFICATION

IN WITNESS WHEREOF: THE AFOREMENTIONED COLA, LLC HAS EXECUTED THESE PRESENTS THIS \_\_\_ 20 A.D., A COLORADO LIMITED LIABILITY COMPANY AUTHORIZED AGENT, MANAGER STATE OF COLORADO ) EL PASO COUNTY THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_ WITNESS MY HAND AND SEAL:

MY COMMISSION EXPIRES:

### **COUNTY CERTIFICATION**

NOTARY PUBLIC

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH BOARD RESOLUTION \_ APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS CHAIR, BOARD OF COUNTY COMMISSIONERS DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT

# **CLERK AND RECORDER CERTIFICATION**

STATE OF COLORADO ) EL PASO COUNTY I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS\_\_\_\_\_ OF \_\_\_\_\_, 20\_\_\_ AT \_\_\_\_ O'CLOCK A.M./P.M. AND WAS RECORDED PER RECEPTION NO. \_\_\_\_\_ EL PASO COUNTY CLERK AND RECORDER

## LAND USE:

CURRENT ZONING: RS-5000 (SINGLE FAMILY RESIDENTIAL) PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT) VACANT/ UNDEVELOPED CURRENT LAND USE: PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL; PUBLIC & PRIVATE STREETS; LANDSCAPE SETBACKS; PARKS/ OPEN

# SITE DATA TABLE:

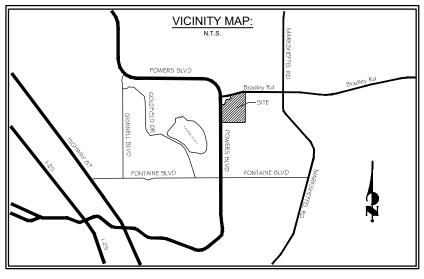
TOTAL SITE ACREAGE 117.98 AC PROPOSED SINGLE-FAMILY DWELLING UNITS 605 D.U. 5.13 D.U./AC PROPOSED GROSS DENSITY

SPACE; TRAIL CORRIDORS; UTILITY EASEMENTS; DRAINAGE & DETENTION FACILITIES; SIGNAGE

# SITE DATA TABLE:

TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE FAMILY RESIDENTIAL (605 LOTS)	65.64 AC	55.6%
OPEN SPACE/ LANDSCAPE	22.476 AC	19.1%
PUBLIC STREETS RIGHTS-OF-WAY	26.763 AC	22.7%
PRIVATE STREET RIGHTS-OF-WAY	3.104 AC	2.6%
LEGACY HILL DRIVE RIGHT-OF-WAY (PLATTED WITH FILING 1)	5.004 AC	4.2%

117.984 AC NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 117.98 AC X .10 = 11.80 ACRES TOTAL OPEN SPACE PROVIDED IS 19.1% = 22.476 ACRES



# SHEET INDEX:

PUD TITLE SHEET PUD PHASE AND KEY MAP P3-6 PUD DETAILS P7-12 PUD SITE PLAN PUD GRADING PLANS P13-19 PUD UTILITY PLANS

# TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

TRAILS AT ASPEN RIDGE PUD/ SP

**EL PASO COUNTY** FEBRUARY 2019

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

DEVELOPER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE, 2019 REV2 COMMENT RESPONSE: AUGUST, 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008 DRAWN BY: BS CHECKED BY: JA

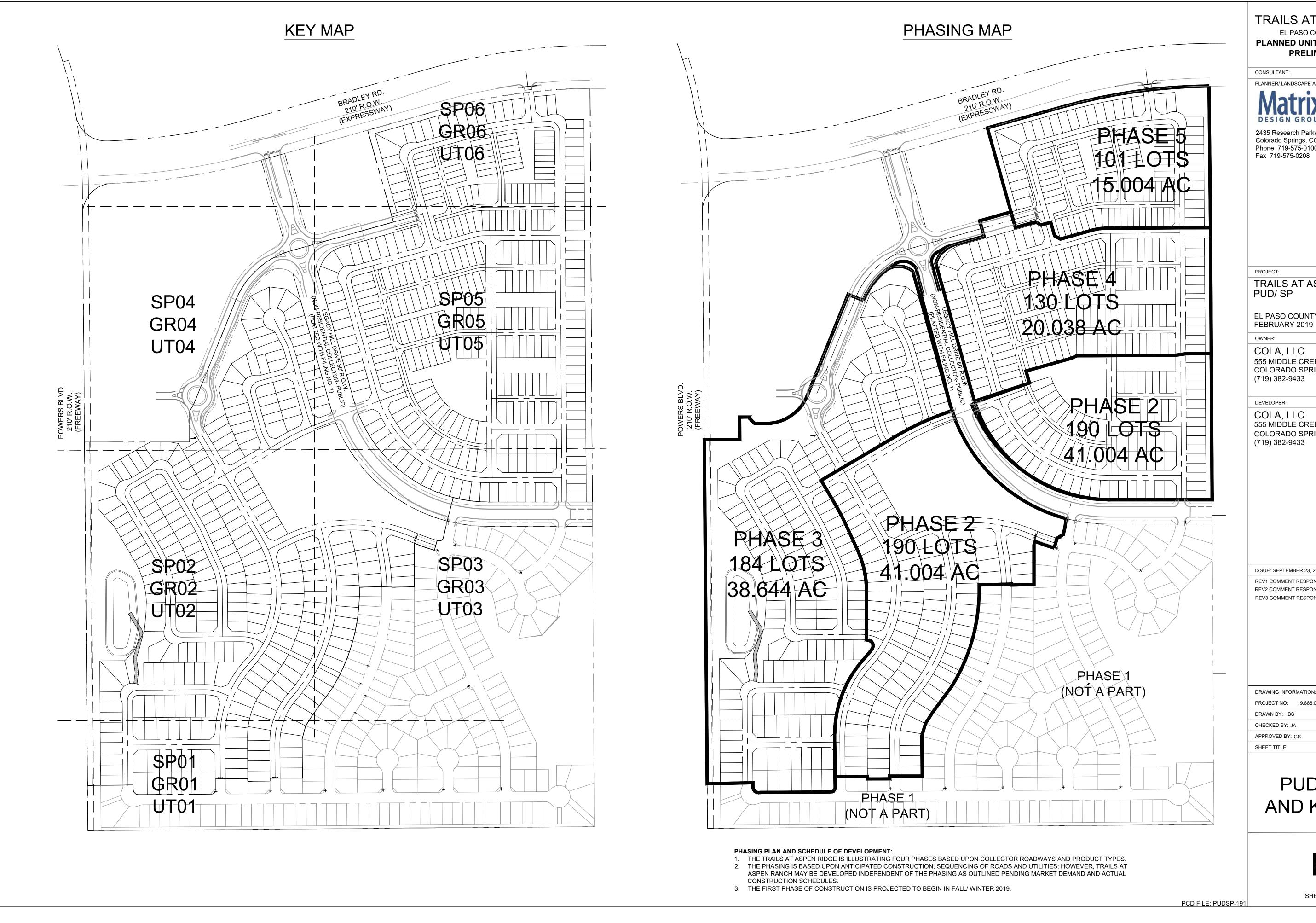
SHEET TITLE:

PCD FILE: PUDSP-191

APPROVED BY: GS

PUD TITLE

SHEET 1 OF 24



TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN



2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

TRAILS AT ASPEN RIDGE PUD/ SP

**EL PASO COUNTY** 

555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE, 2019 REV2 COMMENT RESPONSE: AUGUST , 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

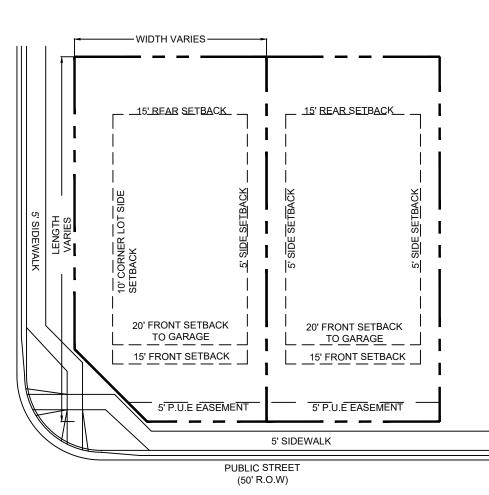
DRAWING INFORMATION:

PROJECT NO: 19.886.008

PUD PHASE AND KEY MAPS

SHEET 2 OF 24

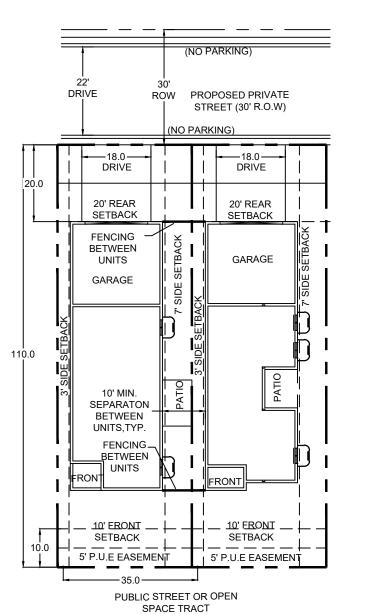
# TYPICAL LOT SETBACK DIAGRAMS

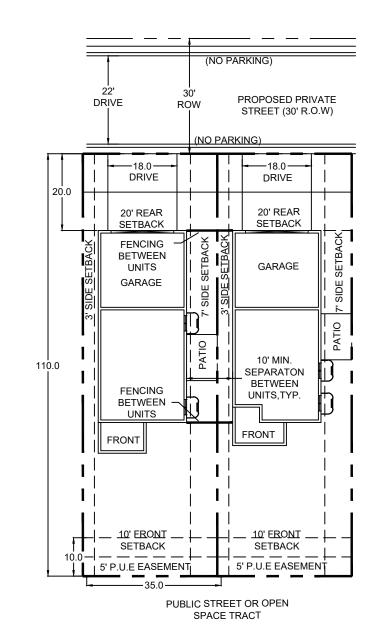


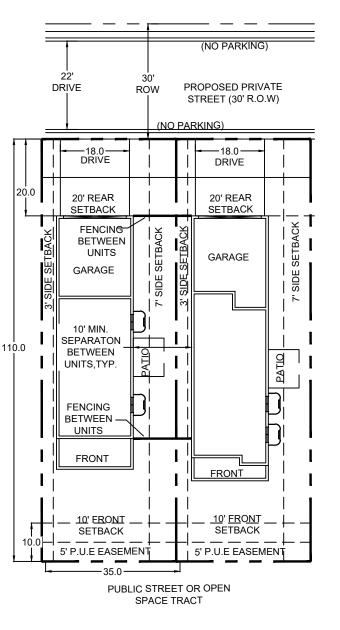
- WIDTH VARIES -\_\_REAR\_SETBACK 15' \_\_\_ \_\_ REAR SETBACK 15' 20' FRONT SETBACK 20' FRONT SETBACK \_\_ TO GARAGE\_\_ \_ \_ \_ 15' FRONT SETBACK 15' FRONT SETBACK 5' P.U.E EASEMENT 5' P.U.E EASEMENT 5' SIDEWALK

LOTS 1 -152, 222 - 230, 285 - 331, 470 - 539

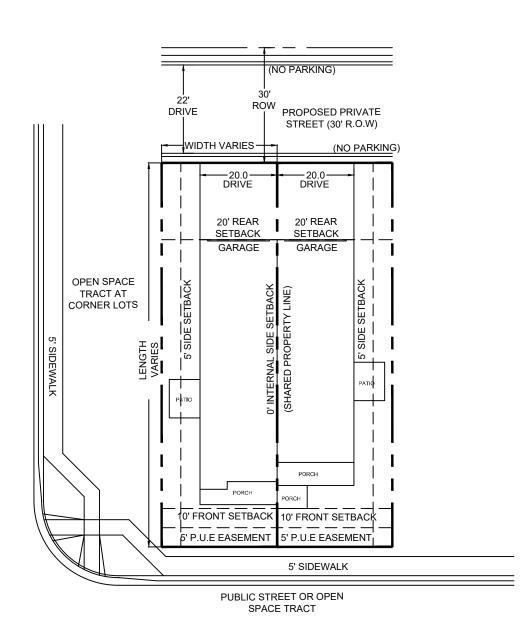
LOTS 153 - 221, 231-284







LOTS 332 - 464



LOTS 540 - 605

# LOT TYPICAL NOTES FOR ALL LOTS:

OTHERWISE APPROVED BY THE COUNTY.

- 1. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/
- 2. OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
- 3. 5' WOOD FENCING PERMITTED BETWEEN UNITS AT THE FRONT AND REAR OF THE HOUSE ONLY. FINAL LOCATION OF FENCING TO BE DETERMINED BY INDIVIDUAL HOUSE CONFIGURATION.
- 4. THERE SHALL BE NO FENCING PERMITTED WITHIN THE FRONT YARD SETBACK.
- 5. 10' MINIMUM SEPARATION BETWEEN MAIN HOUSE STRUCTURES EXCEPT FOR PAIRED PATIO/ DUPLEX STYLE UNITS
- THAT SHARE ONE COMMON WALL. 6. 5' PUBLIC UTILITY EASEMENT TO BE PROVIDED ALONG THE FRONTS OF ALL LOTS.
- 7. ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A "SIGHT DISTANCE EASEMENT" SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS
- 8. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

### DEVELOPMENT STANDARDS AND GUIDELINES

TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED

\*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

- MODEL HOME/ SUBDIVISION SALES OFFICE CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE

#### \*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

- RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND
- DEVELOPMENT CODE, AS AMENDED. ANIMAL KEEPING OF UP TO 4 PETS (DOGS, CATS OR OTHER DOMESTICATED ANIMALS). THE KEEPING OF HENS, CHICKENS, OR PIGEONS IS
- PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED. 6. MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

\*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

SPECIAL USES:

1. CMRS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

- SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GAZEBOS, PATIOS, HOT TUBS/ SPAS, AND POOLS.
- MAILBOXES
- PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
- PERSONAL USE SMALL CELL TOWER DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
- ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO
- ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE. NO ACCESSORY STRUCTURES ARE PERMITTED ON LOTS 332 - 464, 540 - 605.

\*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT. AS AMENDED

### DIMENSIONAL STANDARDS AND GUIDELINES

### DIMENSIONAL STANDARDS FOR LOTS 1 -152, 222 - 230, 285 - 331, 470 - 539

- 1. MINIMUM LOT AREA:
- A. DWELLING, SINGLE FAMILY: 3,825 SF
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- SETBACK REQUIREMENTS (SEE DETAILS SHEET 2): A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE FIFTEEN FEET (15') TO FACE OF HOUSE
- B. SIDE YARD: FIVE FEET (5')
- C. REAR YARD: FIFTEEN FEET (15')
- D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- 7. ACCESSORY STRUCTURE STANDARDS:
- A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10') B. SETBACK REQUIREMENTS:
  - SIDE YARD: FIVE FEET (5') REAR YARD: FIVE FEET (5')

# DIMENSIONAL STANDARDS FOR LOTS 153 - 221, 231 - 284

- MINIMUM LOT AREA:
- A. DWELLING. SINGLE FAMILY: 5.000 SF MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40'). MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30').
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. 6. SETBACK REQUIREMENTS (SEE DETAILS SHEET 2):
- A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE FIFTEEN FEET (15') TO FACE OF HOUSE
- B. SIDE YARD: FIVE FEET (5')
- C. REAR YARD: FIFTEEN FEET (15') D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- 7. ACCESSORY STRUCTURE STANDARDS:
- A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
- B. SETBACK REQUIREMENTS: SIDE YARD: FIVE FEET (5') REAR YARD: FIVE FEET (5')

# DIMENSIONAL STANDARDS FOR LOTS 332 - 464

- 1. MINIMUM LOT AREA:
- A. DWELLING, SINGLE FAMILY: 3,000 SF MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- 6. SETBACK REQUIREMENTS (SEE DETAILS): FRONT: 10' BUILDING
- SIDE: 2' OR 8' PER DETAIL (10' MIN. BETWEEN BUILDINGS)
- REAR: 20' SETBACK TO FACE OF GARAGE CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

# **ACCESSORY STRUCTURES:**

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 332 - 464

# DIMENSIONAL STANDARDS FOR LOTS 540 - 605

- A. DWELLING, TWO FAMILY SINGLE FAMILY: 2,500 SF MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- 6. SETBACK REQUIREMENTS (SEE DETAILS SHEET 2):
- FRONT: 10' BUILDING SIDE: 5' (10' MIN. BETWEEN BUILDINGS) 0' ALONG SHARED WALL/ COMMON PROPERTY LINE
- REAR: 20' SETBACK TO FACE OF GARAGE
- CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

# ACCESSORY STRUCTURES:

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 540 - 605.

# TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE PUD/ SP

**EL PASO COUNTY** FEBRUARY 2019

OWNER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

DEVELOPER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE, 2019 REV2 COMMENT RESPONSE: AUGUST , 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

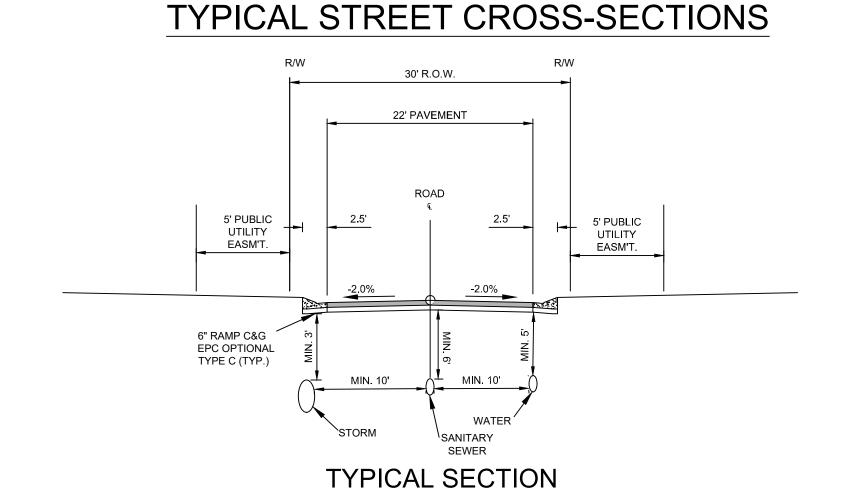
CHECKED BY: NS

DRAWN BY: BS

APPROVED BY: GS SHEET TITLE:

**DETAILS** 

SHEET 3 OF 24



50' R.O.W. 30' PAVEMENT 5' PUBLIC UTILITY 5' PUBLIC UTILITY EASM'T. EASM'T. -2.0% 5' MIN. ATTACHED SIDEWALK 5' MIN. ATTACHED SIDEWALK 6" RAMP C&G **EPC OPTIONAL** MIN. 10' MIN. 10' TYPE C (TYP.) MIN. 6' SEPARATION TO SEPARATION TO EDGE OF ASPHALT

(PRIVATE ROADWAY)

SCALE : N.T.S.

TYPICAL SECTION (URBAN LOCAL ROADWAY)

SCALE: N.T.S.

80' R.O.W. **48' PAVEMENT** VARIES MIN. WIDTH 5' MIN. WIDTH 5' MAX. WIDTH 24.5' MAX. WIDTH 24.5 5' DETACHED / SIDEWALK 6" C&G EPC TYPE A

# TYPICAL SECTION (URBAN NON-RESIDENTIAL COLLECTOR)

SCALE: N.T.S.

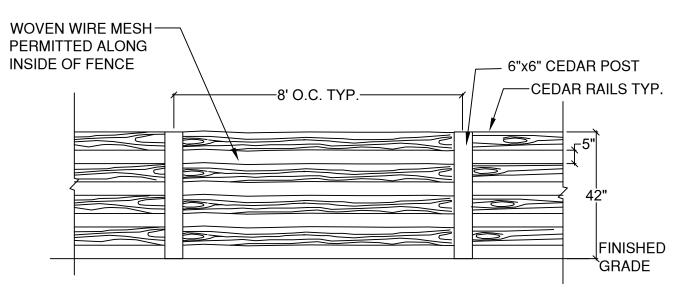
# **PUBLIC STREETS**

EDGE OF ASPHALT

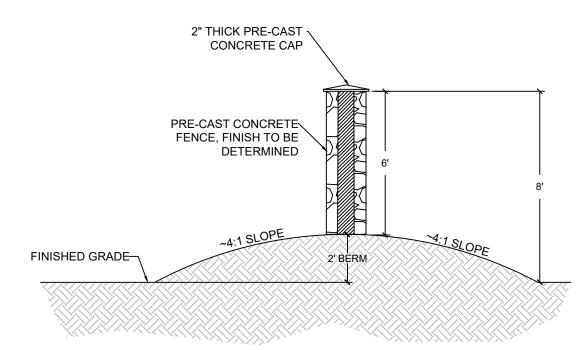
- 1. ALL PUBLIC STREETS AS ILLUSTRATED ON THE DRAWINGS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL
- PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION. 2. STREETS WITHIN THIS DEVELOPMENT PROVIDE FOR LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY. SIDEWALKS SHALL BE
- PROVIDED ON BOTH SIDES OF ALL PUBLIC STREETS AS ILLUSTRATED ON THIS PLAN. 3. PER THE TRAFFIC IMPACT ANALYSIS A NOISE WALL IS REQUIRED ALONG POWERS BLVD.
- 4. URBAN LOCAL RESIDENTIAL KNUCKLE DESIGN TO BE PER THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL KNUCKLE DETAIL FIGURE SD 2-77.

# PRIVATE STREETS

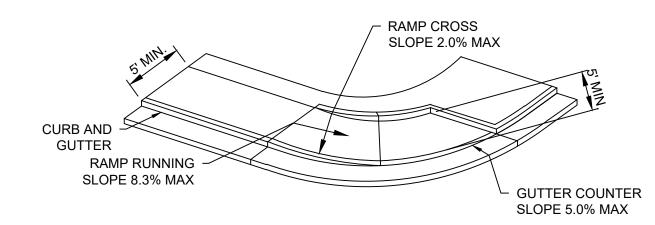
- 1. ALL PRIVATE STREETS AS ILLUSTRATED ON THE DRAWINGS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT.
- 2. ALL PRIVATE STREETS SHALL BE NAMED TO EL PASO COUNTY STANDARDS. 3. ALL PRIVATE STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
- 4. ALL HOMES SHALL BE ADDRESSED OFF THE NAMED STREET AT THE REAR OF THE HOME. ADDRESSES FOR ALL LOTS SHALL BE PLACED ON BOTH THE FRONT
- AND REAR OF THE BUILDING OR AS DIRECTED BY THE REGIONAL BUILDING DEPARMENT.
- 5. THERE SHALL BE NO DIRECT LOT ACCESS FROM COLLECTOR STREETS AND ABOVE. 6. THERE SHALL BE NO ON-STREET PARKING PERMITTED ALONG THE PRIVATE ROADWAYS EXCEPT OFF-STREET PARKING AREAS AS SHOWN ON THE DRAWINGS.



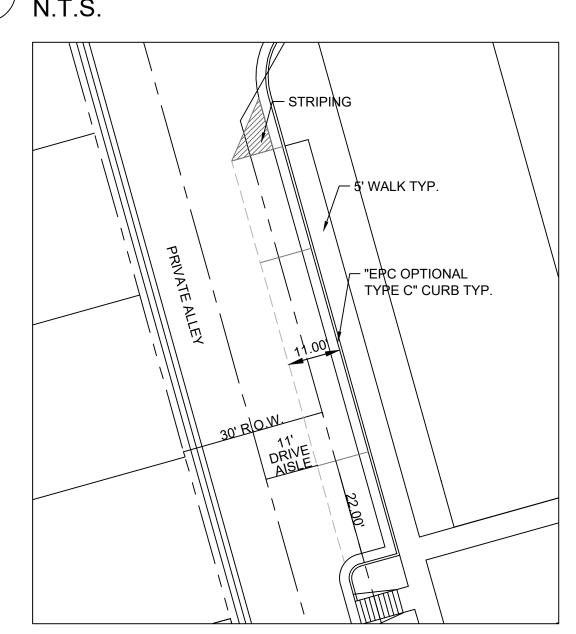
SPLIT RAIL FENCE DETAIL N.T.S.



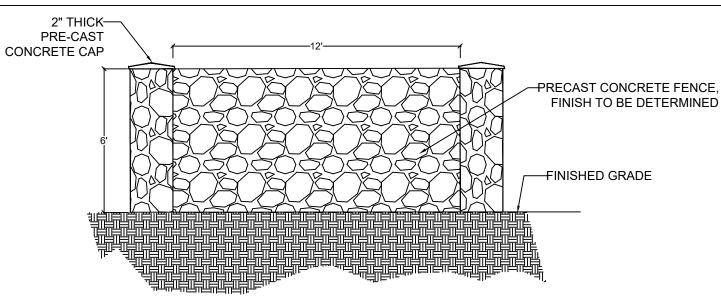
6' CONCRETE NOISE WALL ALONG POWERS BLVD



PARALLEL RAMP (TYP.) DETAIL



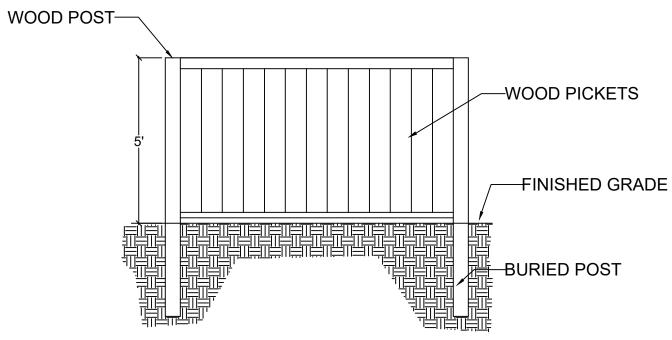
OFF-STREET GUEST PARKING (TYP.) DETAIL N.T.S.



FRONT VIEW: 6' VERTI CRETE PRE-CAST FENCE

1. COLUMNS, WALL, STEEL FENCING PER MANUFACTURES SPECIFICATIONS. 2. SUBMIT CUT SHEETS AND SAMPLE PRIOR TO INSTALLATION. 3. FINAL COLOR, TEXTURE AND FINISH TO BE DETERMINED

6' CONCRETE FENCE DETAIL N.T.S.



1. FENCE MATERIAL, COLOR, ETC. TO BE DETERMINED

"EPC OPTIONAL TYPE C" CURB

18.00'

11' DRIVE AISLE

5' WALK TYP.

- 2. FENCE TYPE TO BE USED ON ALL INDIVIDUAL LOTS EXCEPT WHERE NOTED. 3. FENCING INSTALLED ON INDIVIDUAL LOTS SHALL OWNED AND MAINTAINED BY
- THE INDIVIDUAL PROPERTY OWNER

5' WOOD FENCE DETAIL

TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE PUD/ SP

**EL PASO COUNTY** FEBRUARY 2019

OWNER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

DEVELOPER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE, 2019 REV2 COMMENT RESPONSE: AUGUST, 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: BS CHECKED BY: NS

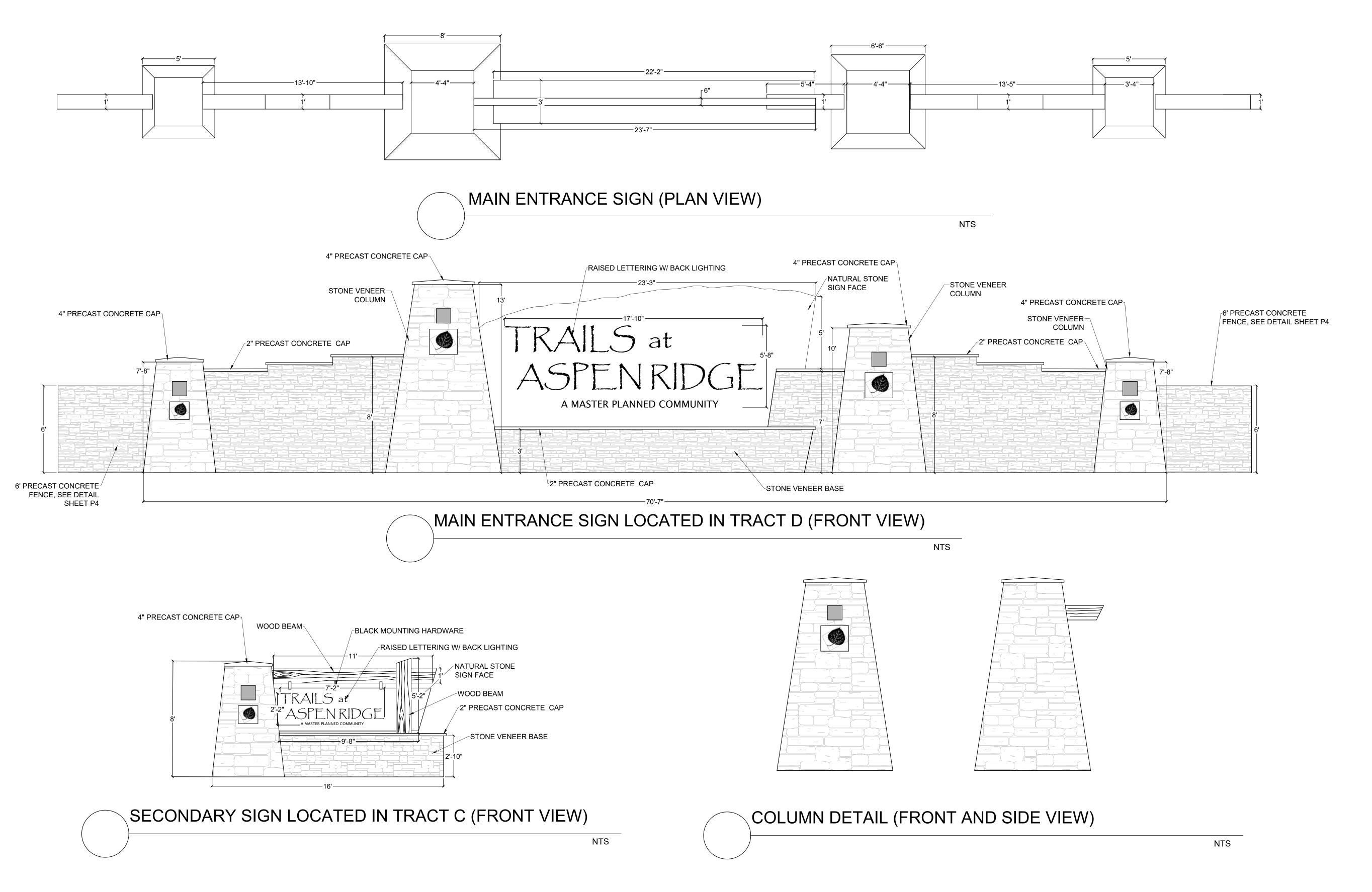
APPROVED BY: GS

SHEET TITLE:

PUD **DETAILS** 

SHEET 4 OF 24

27



TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSUL

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix BESTER GROUP

2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

PROJE

TRAILS AT ASPEN RIDGE PUD/ SP

EL PASO COUNTY FEBRUARY 2019

OWNER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

DEVELOPER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE , 2019 REV2 COMMENT RESPONSE: AUGUST , 2019 REV3 COMMENT RESPONSE: SEPTEMBER , 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: BS

CHECKED BY: NS

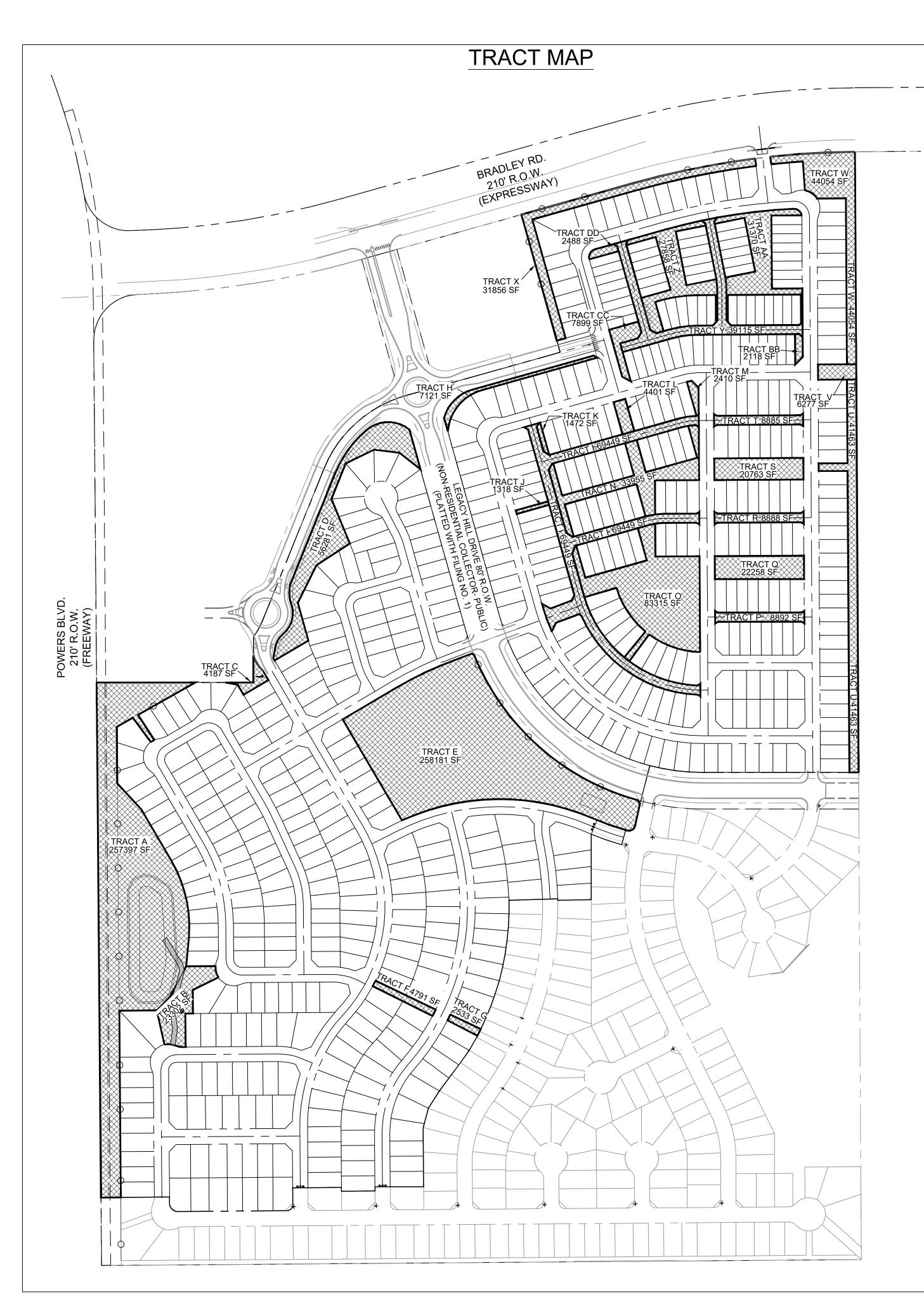
APPROVED BY: GS

SHEET TITLE:

PUD DETAILS

P5

SHEET 5 OF 24



# TRACT TABLE

TRACT	AREA (SQUARE FEET)	LANDSCAPE/PARK OPEN SPACE/TRAIL	SIGNAGE/PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PRIVATE DRIVE/ ACCESS ROAD	PUBLIC UTILITIES	WATER PUMP HOUSE FACILITY	OWNED/MAINTAINED BY	
Α	257,397	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
В	23,302	X	X	Х		Х	X	WIDEFIELD WATER &SANITATION DISTRICT	
С	4,187	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
D	56,281	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
E	258,181	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
F	4,791	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
G	2,533	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
Н	7,121	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
I	69,449				X	Х		WATERVIEW II METRO DISTRICT	
J	1,318	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
K	1,472	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
L	4,401	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
М	2,410	X	X	Х		Х		WATERVIEW II METRO DISTRICT	
N	33,955	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
0	83,315	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
Р	8,892				X	Х		WATERVIEW II METRO DISTRICT	
Q	22,258	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
R	8,888				X	X		WATERVIEW II METRO DISTRICT	
S	20,763	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
Т	8,885				X	Х		WATERVIEW II METRO DISTRICT	
U	41,463	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
V	6,277	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
W	44,054	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
Х	31,856	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
Υ	39,115		X		X	Х		WATERVIEW II METRO DISTRICT	
Z	27,858	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
AA	31,370	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
BB	2,118	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
CC	7,899	Х	X	Х		Х		WATERVIEW II METRO DISTRICT	
DD	2,488	X	X	Х		Х		WATERVIEW II METRO DISTRICT	

# TRACT NOTES:

1. 'X'= DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS

TOTAL TRACT AREA: 1,114,298 SF (25.5808 AC)

2. TRACT 'W' RESERVED FOR FUTURE RIGHT-OF-WAY USE FOR POSSIBLE CONNECTION TO THE EAST. TRACT 'W' SHALL BE DEDICATED TO EL PASO COUNTY AT NO COST TO THE COUNTY AT THAT TIME THE CONNECTION IS REQUIRED. IF NO CONNECTION TO THE EAST IS REQUIRED, THIS TRACT MAY BE CONVERTED TO A LOT FOR USE AS SINGLE FAMILY RESIDENTIAL PER REVIEW AND APPROVAL OF AN AMENDED PLAT BY EL PASO COUNTY.

# TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE PUD/ SP

**EL PASO COUNTY** FEBRUARY 2019

OWNER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

DEVELOPER:

COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE, 2019 REV2 COMMENT RESPONSE: AUGUST , 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

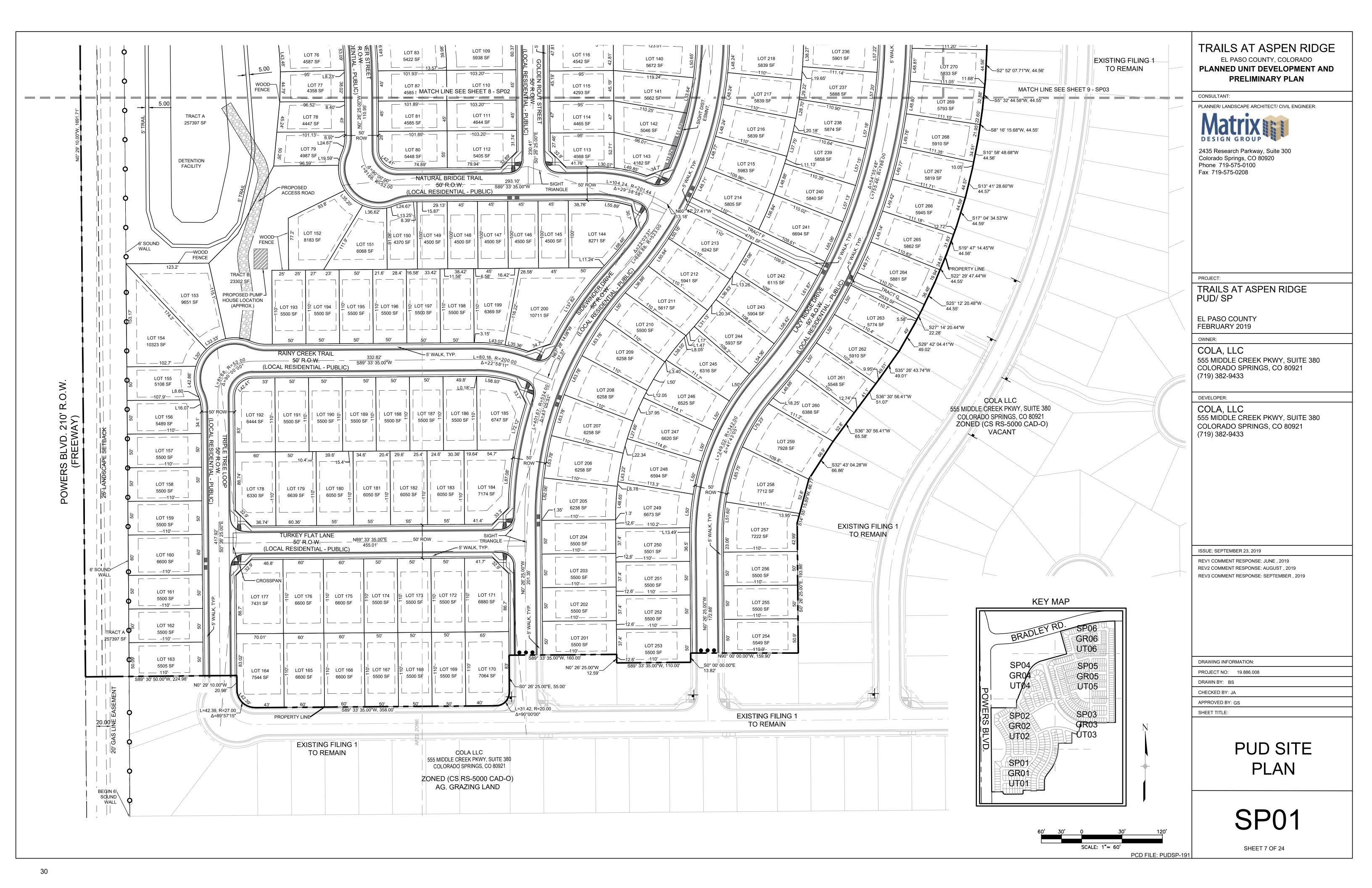
DRAWN BY: BS CHECKED BY: JA

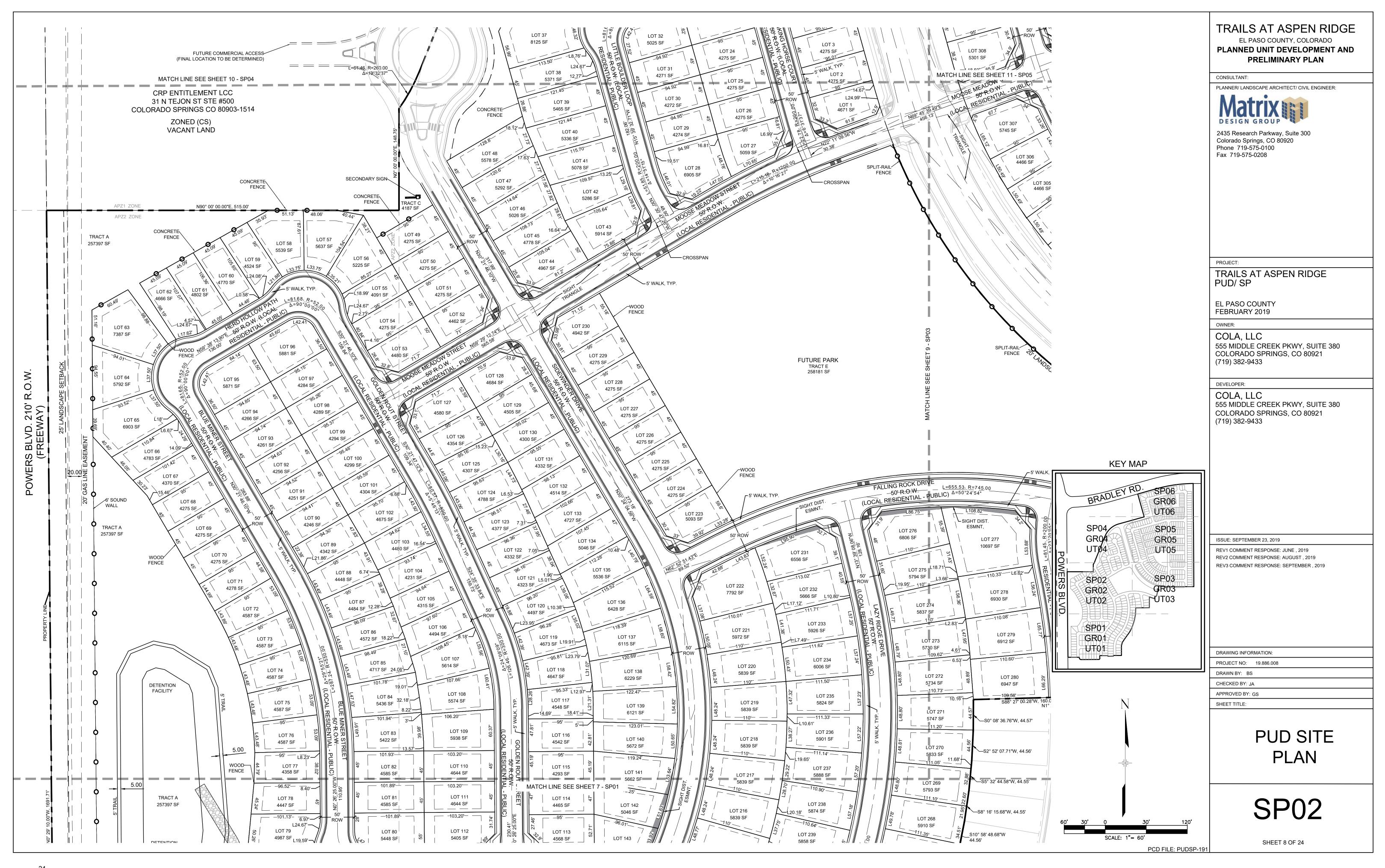
APPROVED BY: GS

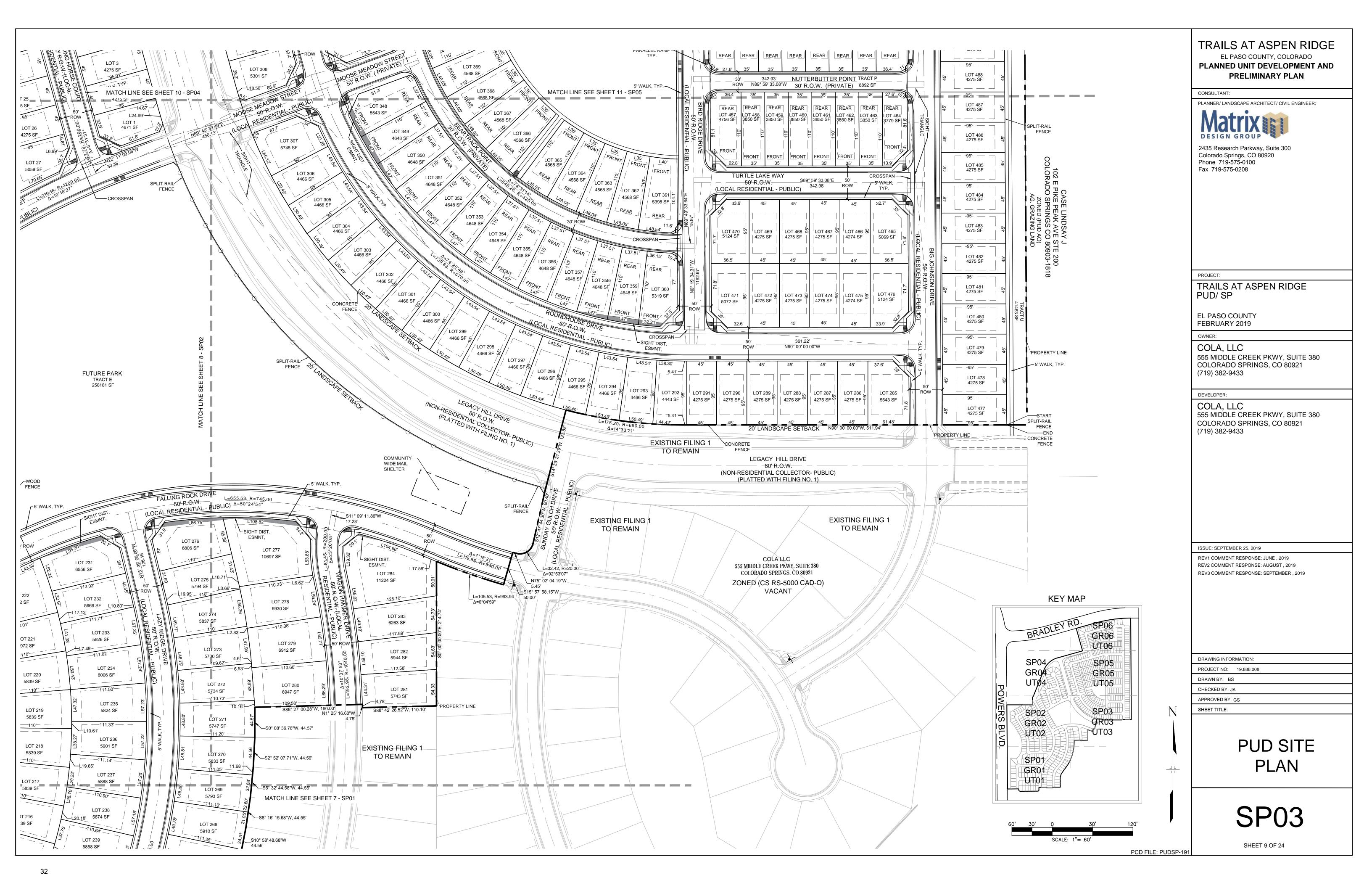
SHEET TITLE:

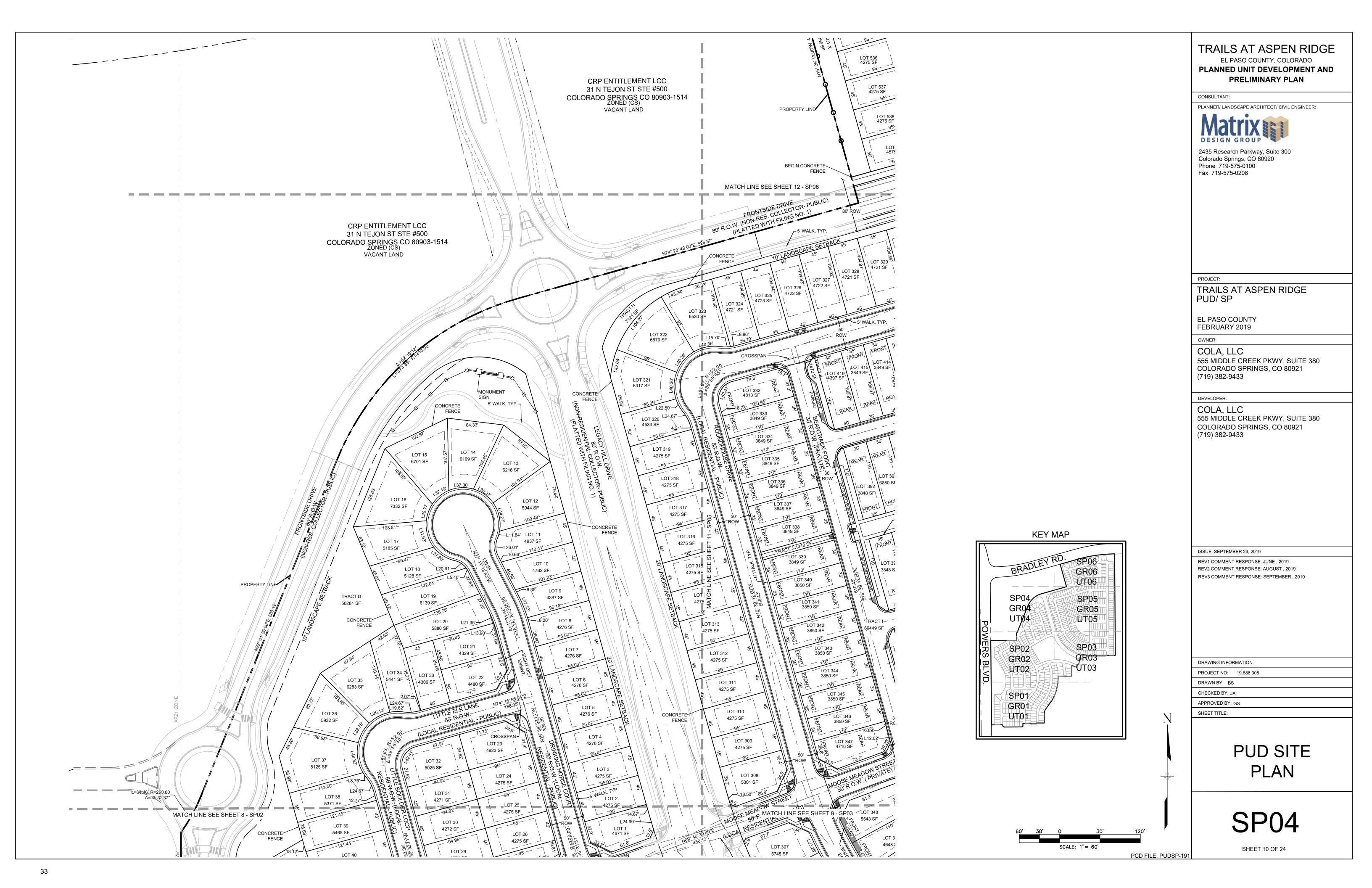
PUD **DETAILS** 

SHEET 6 OF 24

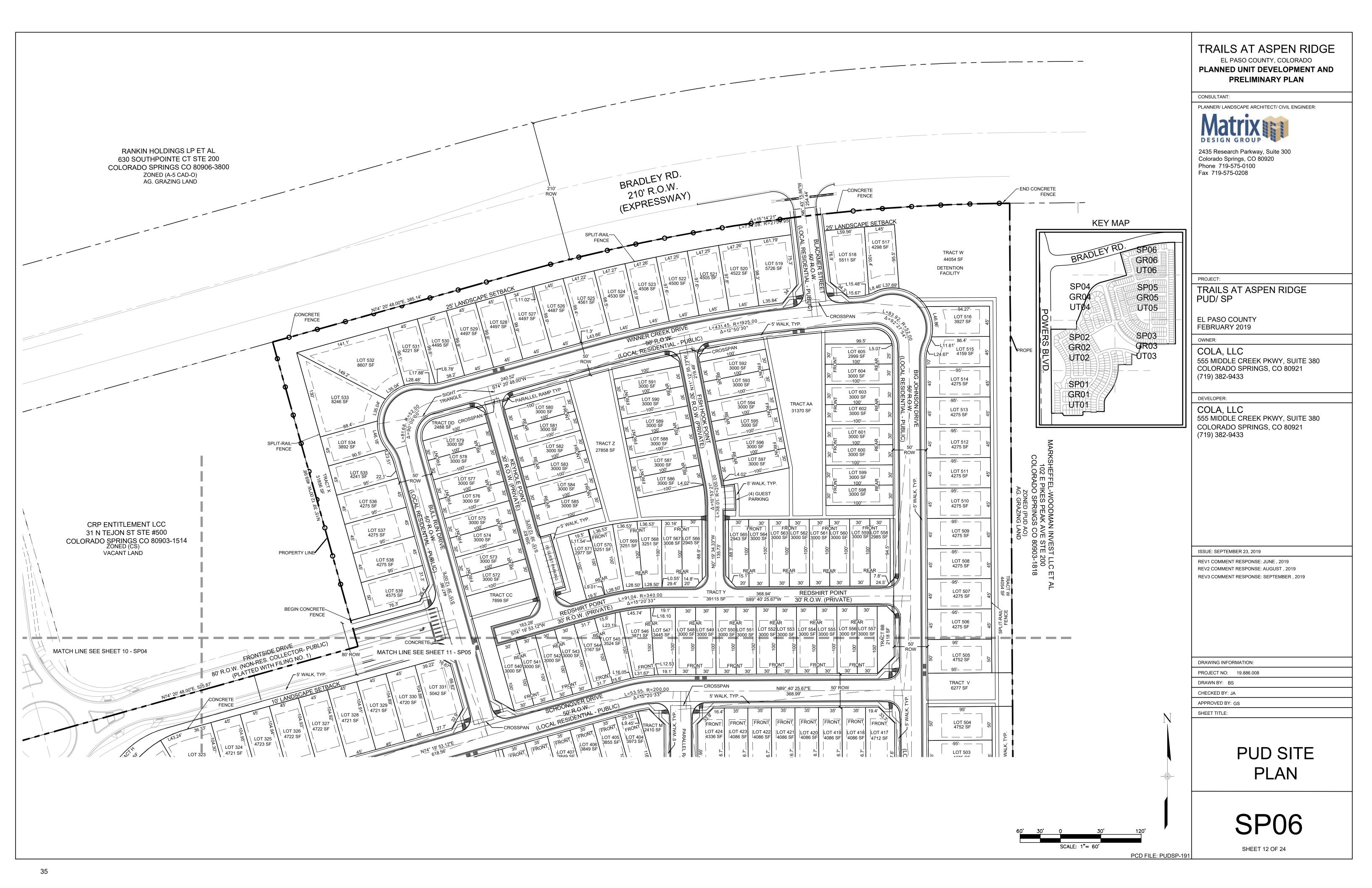






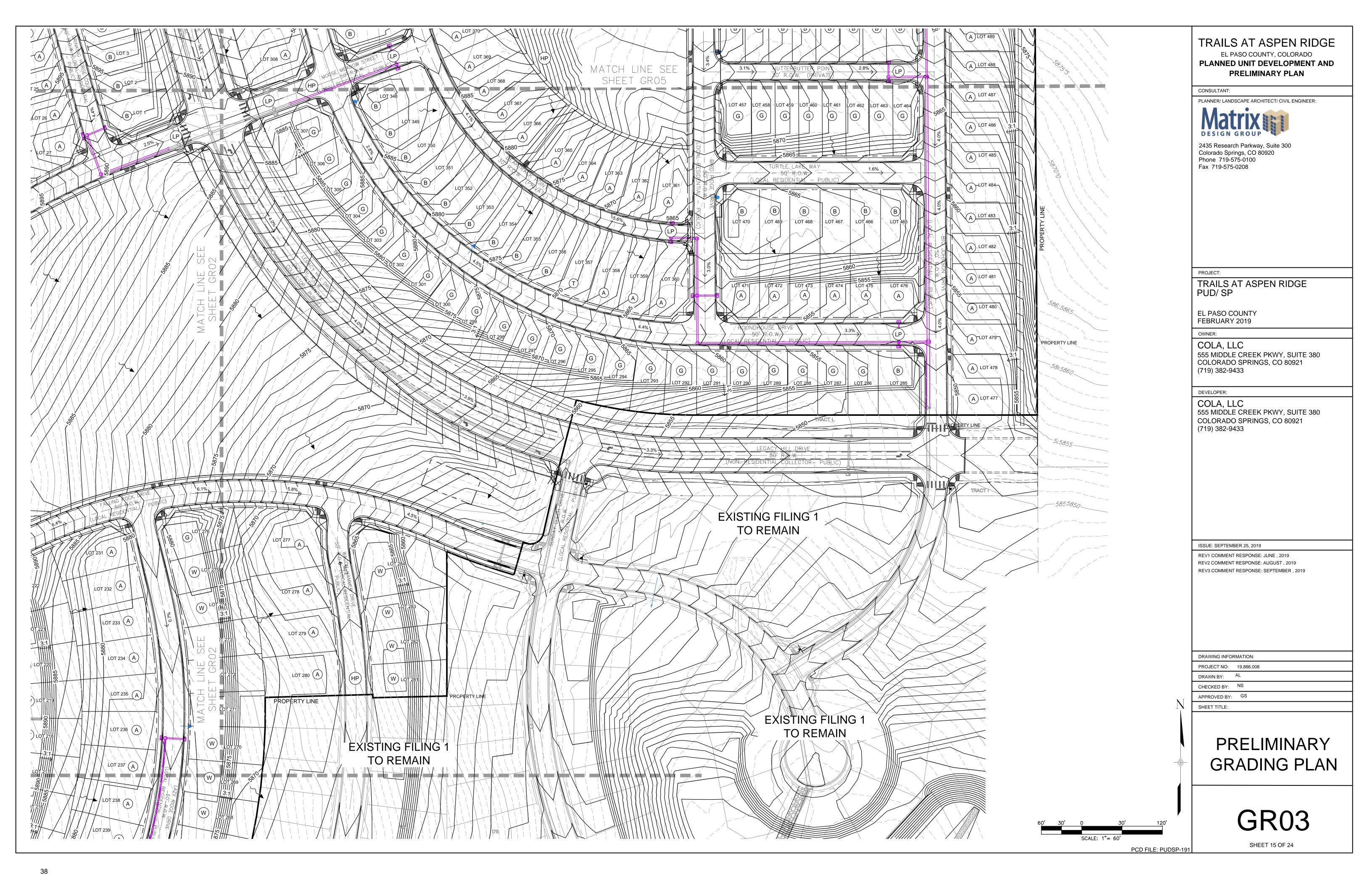


















TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 719-575-0100 Fax 719-575-0208

TRAILS AT ASPEN RIDGE

EL PASO COUNTY FEBRUARY 2019

COLA, LLC

555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433

COLORADO SPRINGS, CO 80921 (719) 382-9433

ISSUE: SEPTEMBER 23, 2019

REV1 COMMENT RESPONSE: JUNE , 2019 REV2 COMMENT RESPONSE: AUGUST, 2019 REV3 COMMENT RESPONSE: SEPTEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: AL

PRELIMINARY **GRADING PLAN** 

GR06

SHEET 18 OF 24

